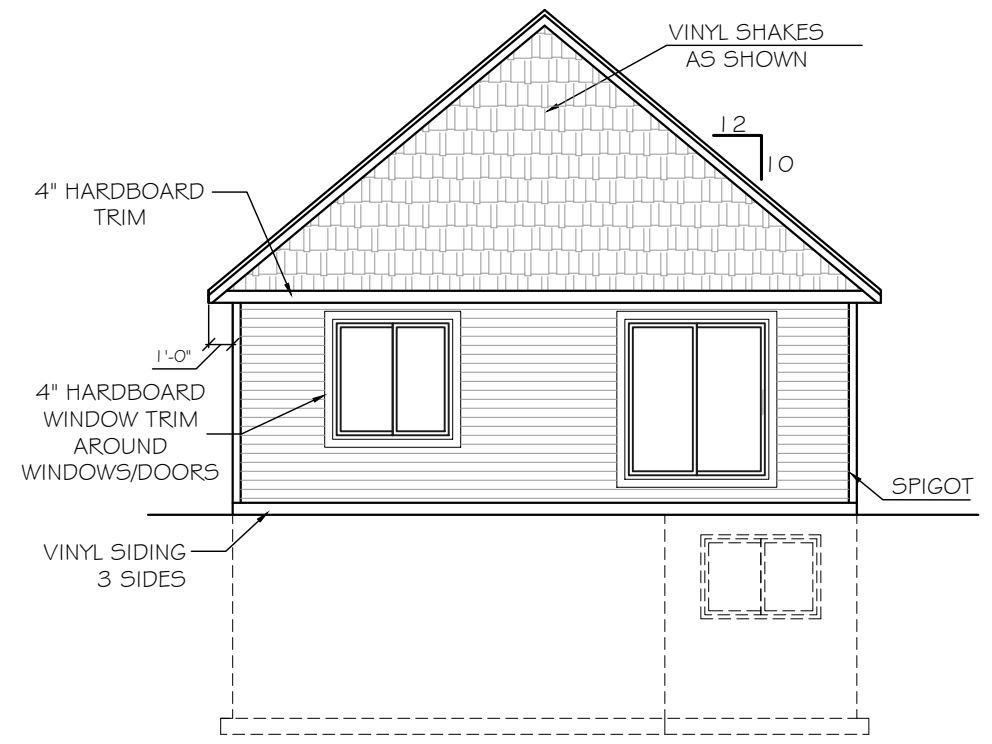
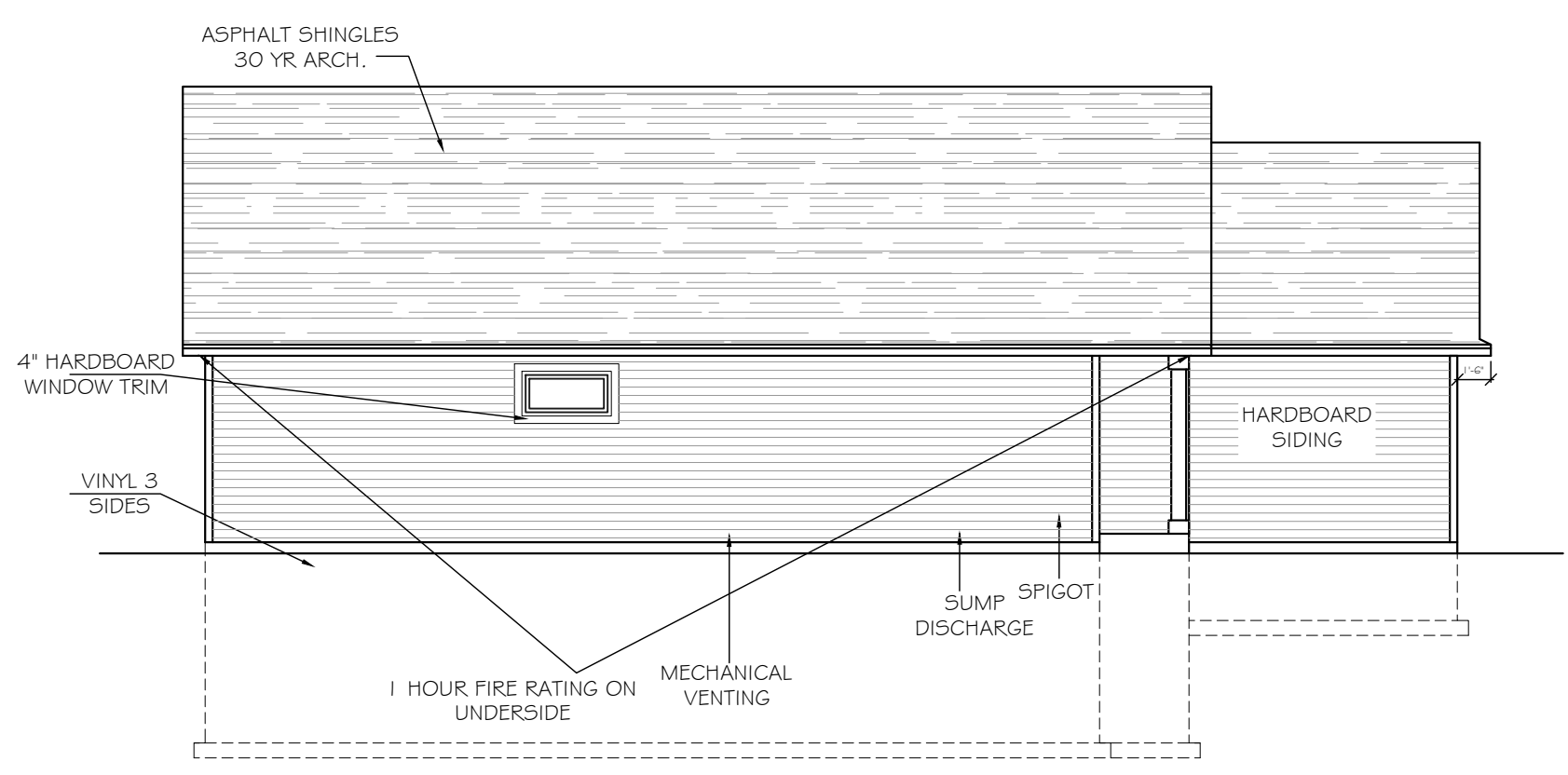


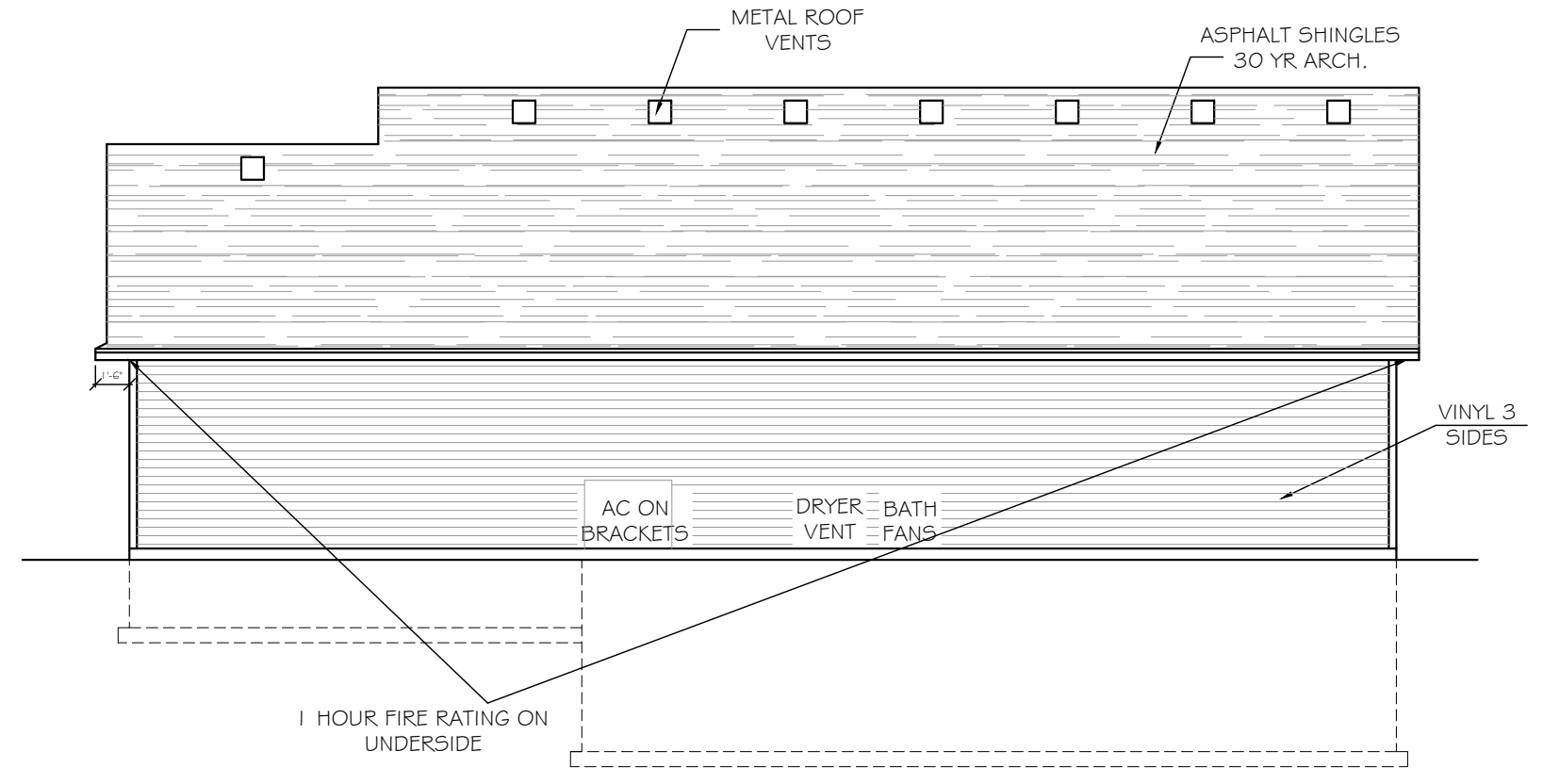
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 WI LIC: DC-070800080



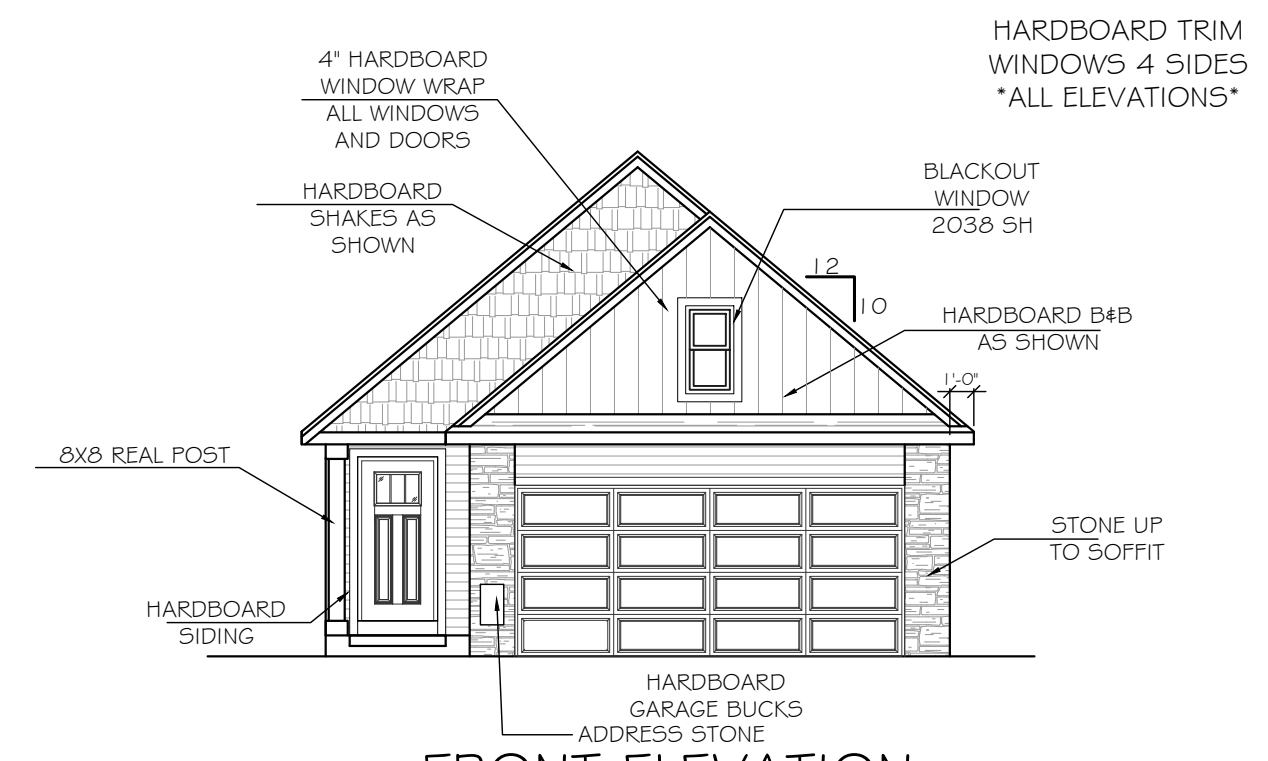
REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

CLIENT:
 Project:

LOCATION:
 LOT _ BLK_
 PELTIER RESERVE

 Street
 CITY
 MN ZIP
 JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	7.23.24

All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:
 Plan: HIGHLAND
 Total Foundation: 1384
 House Foundation: 966
 Finished: 1752
 Unfinished: 180

Scale: 1/8" = 1'-0"

Fin Sq Ft: 1752

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MN LIC: BC631164
WI LIC: DC-070800080

CLIENT:

Project:

LOCATION:

LOT _ BLK_
PELTIER RESERVE

Street

CITY

MN

ZIP

JOB #:

REVISION 1

REVISION 2

REVISION 3

REVISION 4

REVISION 5

REVISION 6

REVISION 7

REVISION 8

REVISION 9

REVISION 10

REVISION 11

FINAL

7.23.24

All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner
Signature

Agent:

Plan: HIGHLAND

Total Foundation: 1384

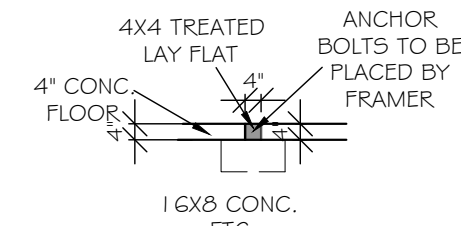
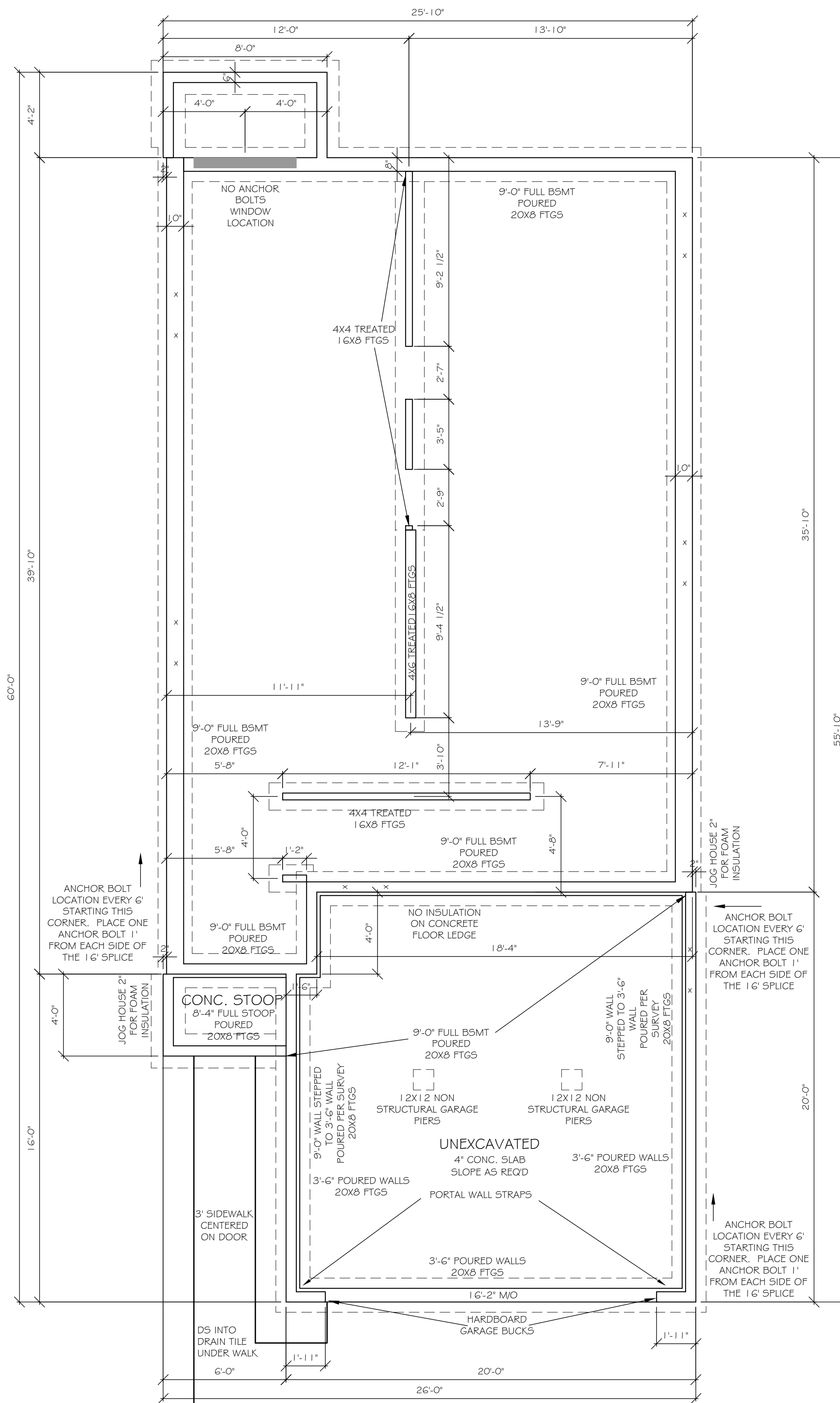
House Foundation: 966

Finished: 1752

Unfinished: 180

Scale: 1/4" = 1'-0"

Fin Sq Ft:

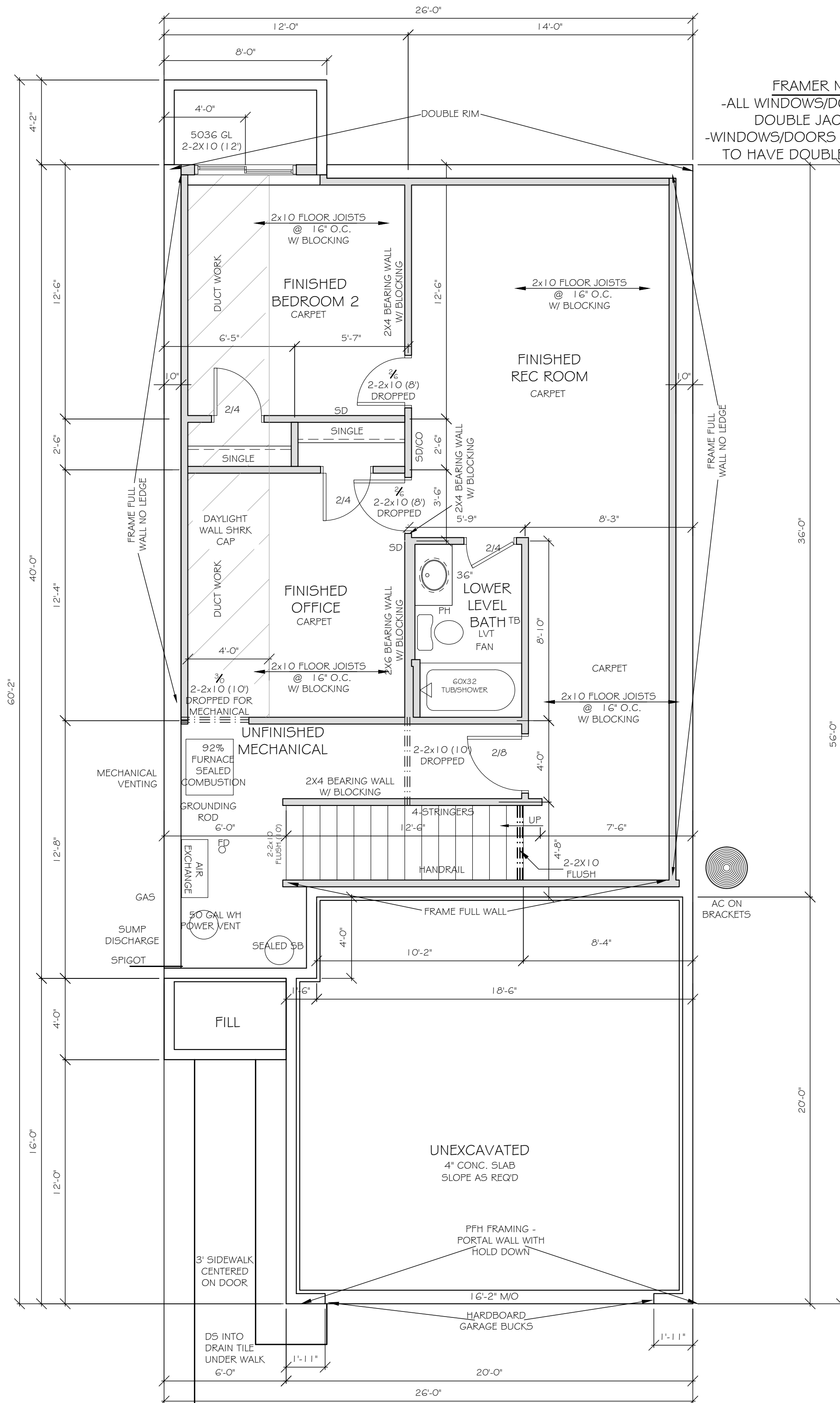


FRAMER NOTE:
INTERIOR
CURB DETAIL FOR 2X4
BEARING WALL

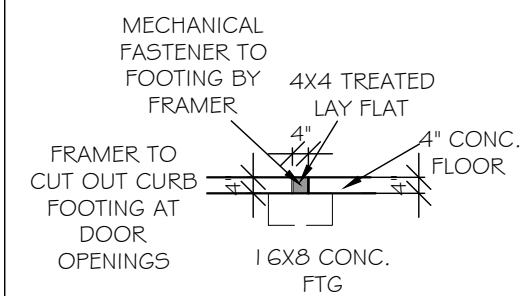
*ANCHOR BOLTS
PLACED ACCORDING
TO IRC SECTION 404-
R.404.1 (3)
TABLE R404.1(1)

DOUBLES AT 16'
PLATE SPLICES SO
BOLT @ 15' & 17'
(x x)
ANCHOR BOLTS
CENTER ON WALL WITH
FOAM

ANCHOR BOLTS 1 3/4"
INSIDE FROM WALLS
WITH NO FOAM



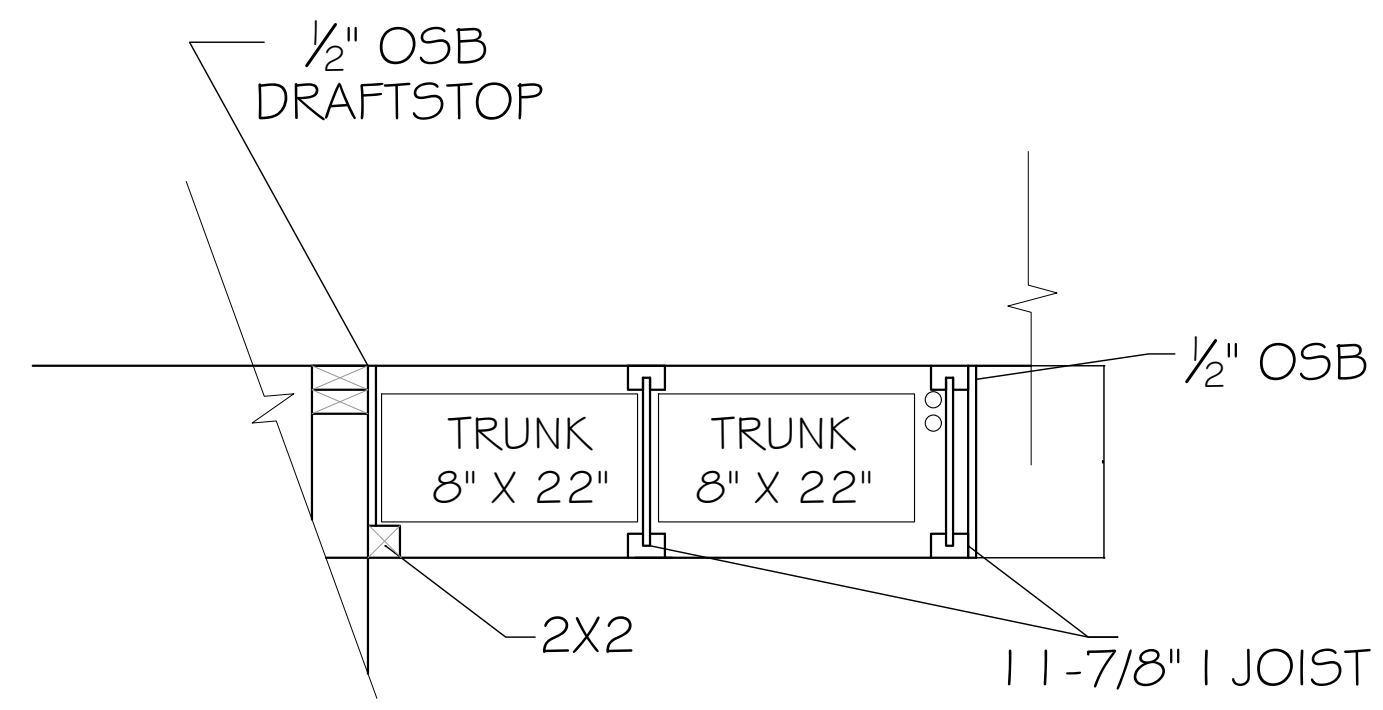
FRAMER NOTES:
 -ALL WINDOWS/DOOR TO HAVE DOUBLE JACK STUDS
 -WINDOWS/DOORS LARGER THAN 8' TO HAVE DOUBLE KING STUDS



FRAMER NOTE:
 INTERIOR CURB DETAIL FOR 2X4 BEARING WALL

FRAMER NOTE:
 JOIST PLACEMENT TO ACCOMMODATE PLUMBING DRAINS ABOVE

8'-9" CEILINGS



MECHANICAL SOFFIT DETAIL
 1/2" = 1'-0"

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MN LIC: BCG31164
 WI LIC: DC-070800080

CLIENT:
 Project:

LOCATION:
 LOT _ BLK_ PELTIER RESERVE

Street
 CITY
 MN ZIP
 JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	7.23.24

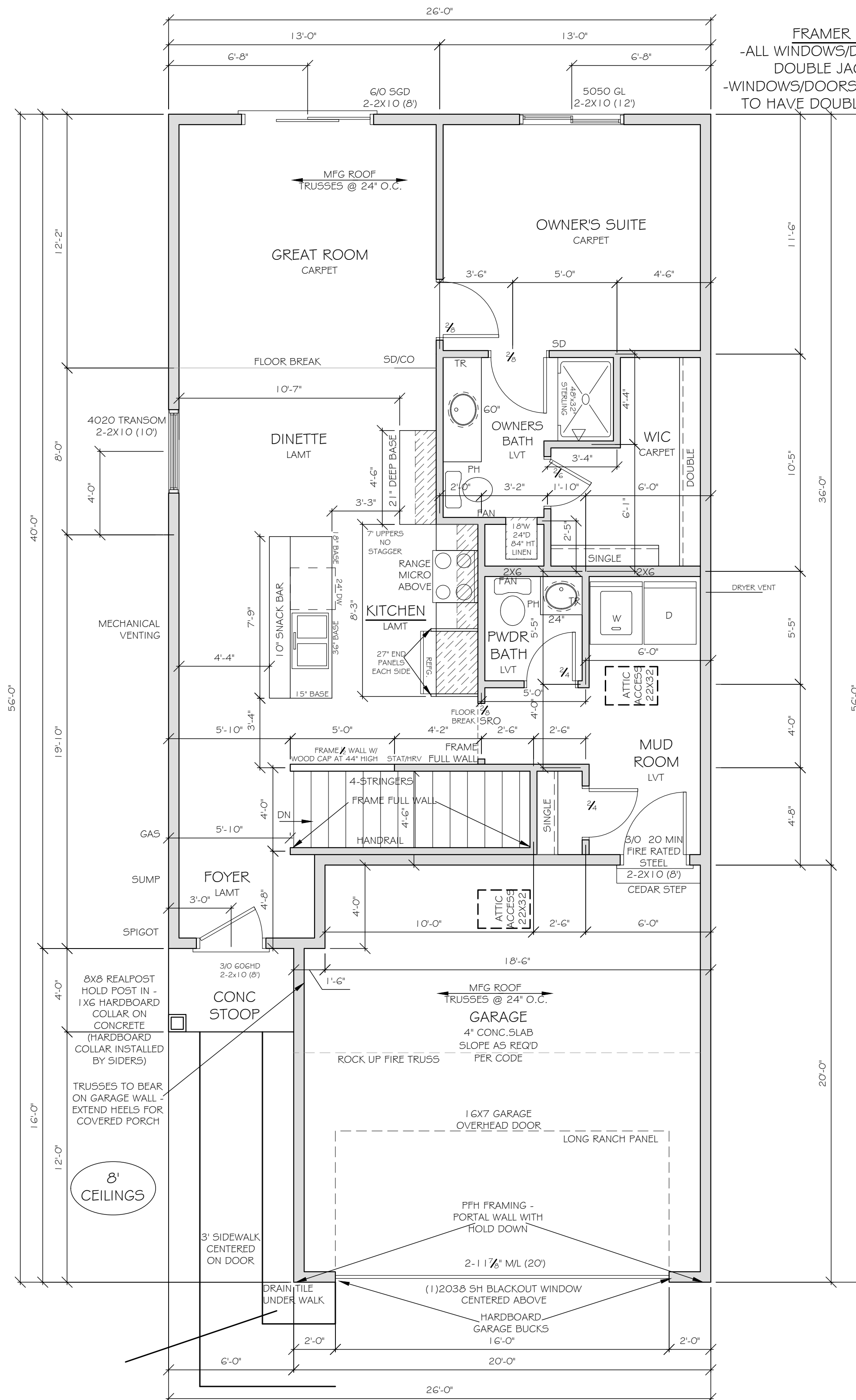
All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:
 Plan: HIGHLAND
 Total Foundation: 1384
 House Foundation: 966
 Finished: 1752
 Unfinished: 180

Scale: 1/4" = 1'-0"

Fin Sq Ft: 786



FRAMER NOTES:
 -ALL WINDOWS/DOOR TO HAVE DOUBLE JACK STUDS
 -WINDOWS/DOORS LARGER THAN 8' TO HAVE DOUBLE KING STUDS

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CLIENT:
 Project:

LOCATION:
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 PELTIER RESERVE
 Street
 CITY
 MN ZIP
 JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
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REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	7.23.24

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Homeowner Signature

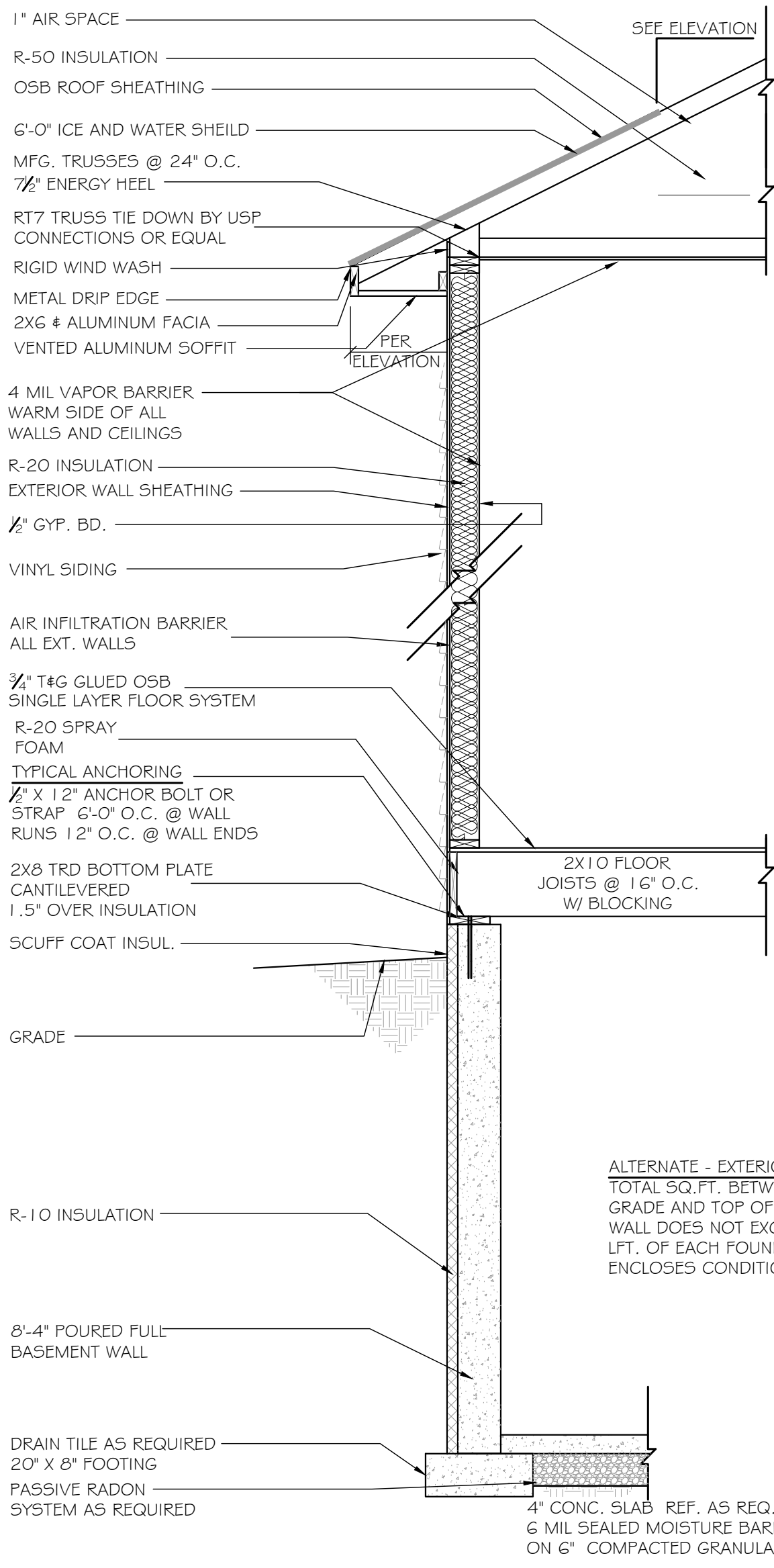
Agent:
 Plan: HIGHLAND
 Total Foundation: 1384
 House Foundation: 966
 Finished: 1752
 Unfinished: 180

Scale: 1/4" = 1'-0"

Fin Sq Ft: 966

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT
1/2 IN ROOF NEAR RIDGE
FLASH ABOVE ALL EXTERIOR OPENINGS
SHINGLES PER ELEVATION/SPECS.
1.5# FELT
1/2" ROOF SHEATHING



RADON VENT PIPE IN ATTIC - INSULATE WITH MIN. R-4 PIPE WRAP

RADON VENT PIPE TERMINATED AT LEAST 12" ABOVE SURFACE OF ROOF

MINIMUM 3" ABS OR PVC OR EQUIVALENT GAS TIGHT PIPE
4" PIPE MAY BE MORE EFFECTIVE, BUT NOT REQUIRED

SPACE PROVIDED FOR INSTALLATION OF A FAN
- MINIMUM 24" DIAMETER CENTERED ON THE AXIS OF THE VENT STACK
- MINIMUM VERTICAL DISTANCE OF 3 FEET

ALTERNATE - EXTERIOR R-10
TOTAL SQ. FT. BETWEEN FINISHED GRADE AND TOP OF EACH FOUNDATION WALL DOES NOT EXCEED 1.5XTOTAL LFT. OF EACH FOUNDATION WALL THAT ENCLOSES CONDITIONED SPACE.

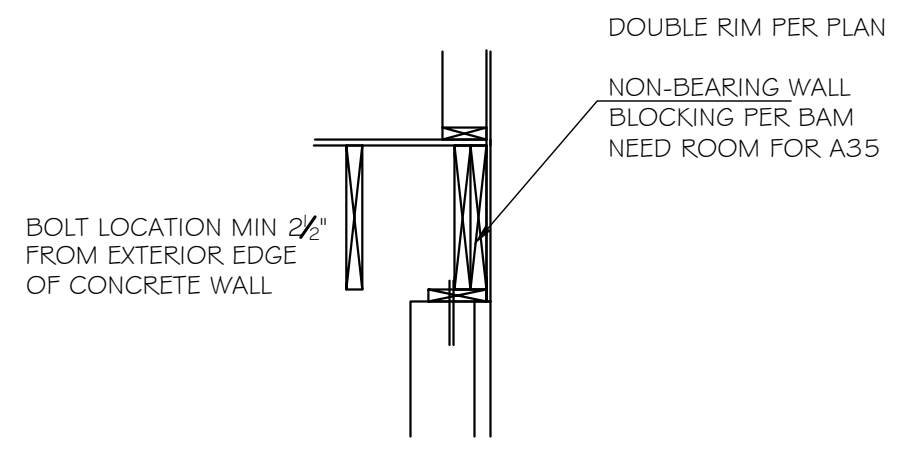
FULL BASEMENT

ALL STRUCTURAL LUMBER
2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER
ALL 2X4 AND 2X6 STUDS WILL BE WESTERN WHITES NO. 2 OR BETTER

WINDOWS ARE MAXIMUM OF .30 U-VALUE WITH MAXIMUM SHGC .29
WINDOW FALL PROTECTION PER R312.2.1 AND R312.2.2
PATIO DOORS .30U AND .26 SHGC
ALL STEEL DOORS .19U

**NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE DIRECTED TO BRET JUENKE #651-463-9333

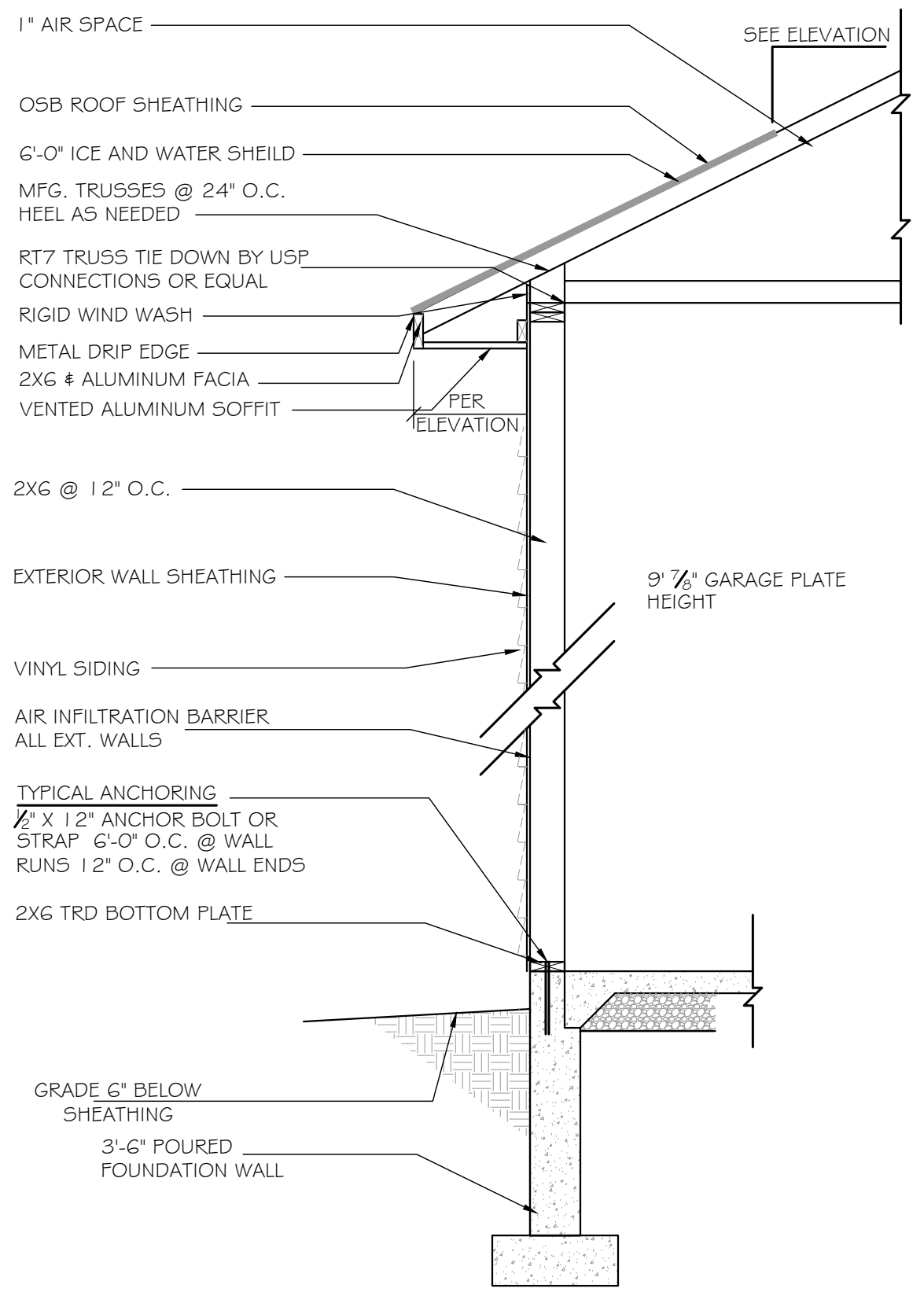
**NOTE: APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB



NON BEARING EXTERIOR FOUNDATION WALLS
SIDE WALLS

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT
1/2 IN ROOF NEAR RIDGE
FLASH ABOVE ALL EXTERIOR OPENINGS
SHINGLES PER ELEVATION/SPECS.
1.5# FELT
1/2" ROOF SHEATHING



EXTERIOR GARAGE WALL

75% OF THE BULBS IN PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS REQUIREMENT APPLIES TO INDOOR AND OUTDOOR FIXTURES, INCLUDING ACCESSORY STRUCTURES AND GARAGES. HIGH EFFICACY BULBS ARE: 60 LUMENS/W FOR LAMPS OVER 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

R 404.1 LIGHTING EQUIPMENT
A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.

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MN LIC: BC631164
WI LIC: DC-070800080

CLIENT:
Project:

LOCATION:
LOT _ BLK_
PELTIER RESERVE
Street
CITY
MN ZIP
JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	7.23.24

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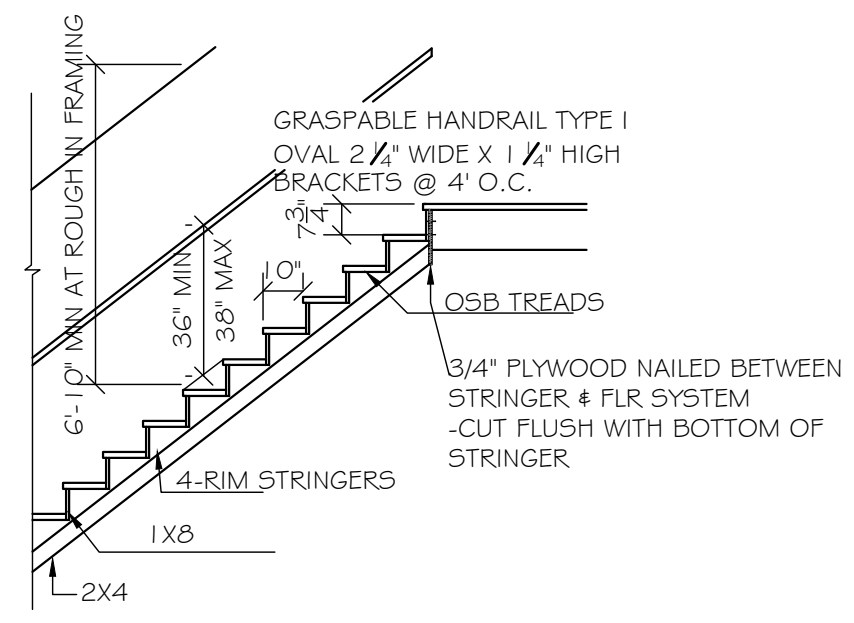
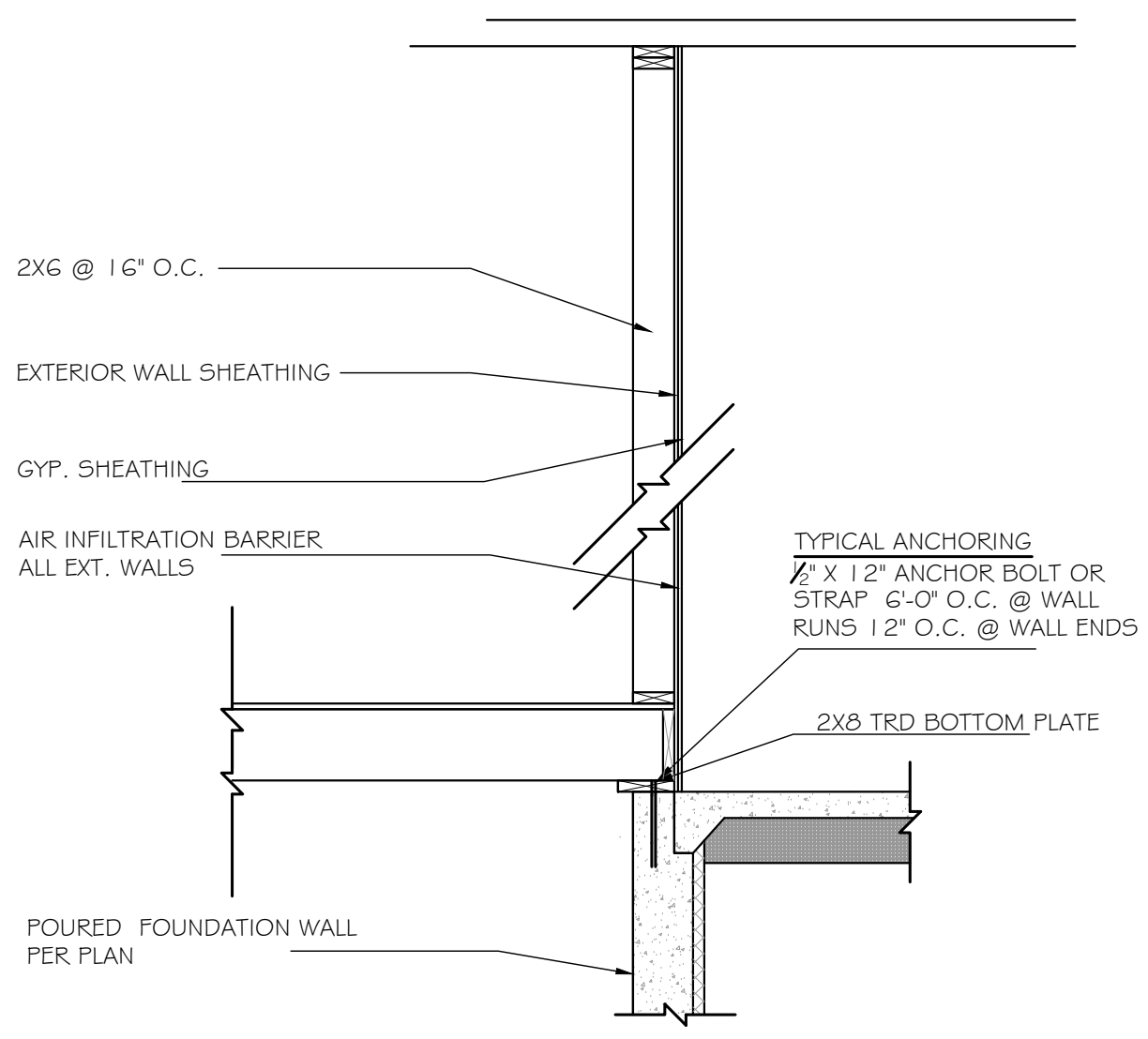
Homeowner Signature

Agent:
Plan: HIGHLAND
Total Foundation: 1384
House Foundation: 966
Finished: 1752
Unfinished: 180

Scale: 1/4" = 1'-0"

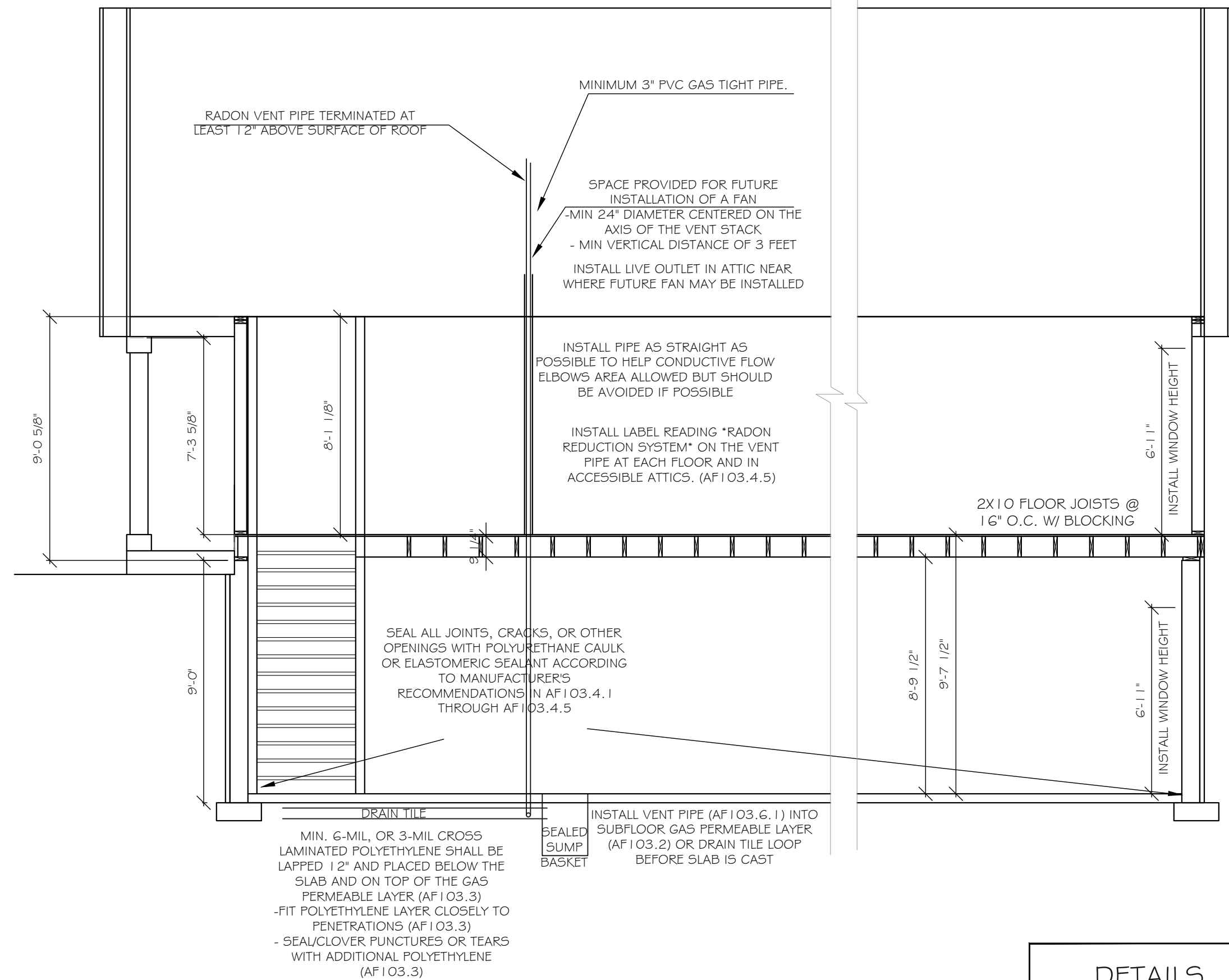
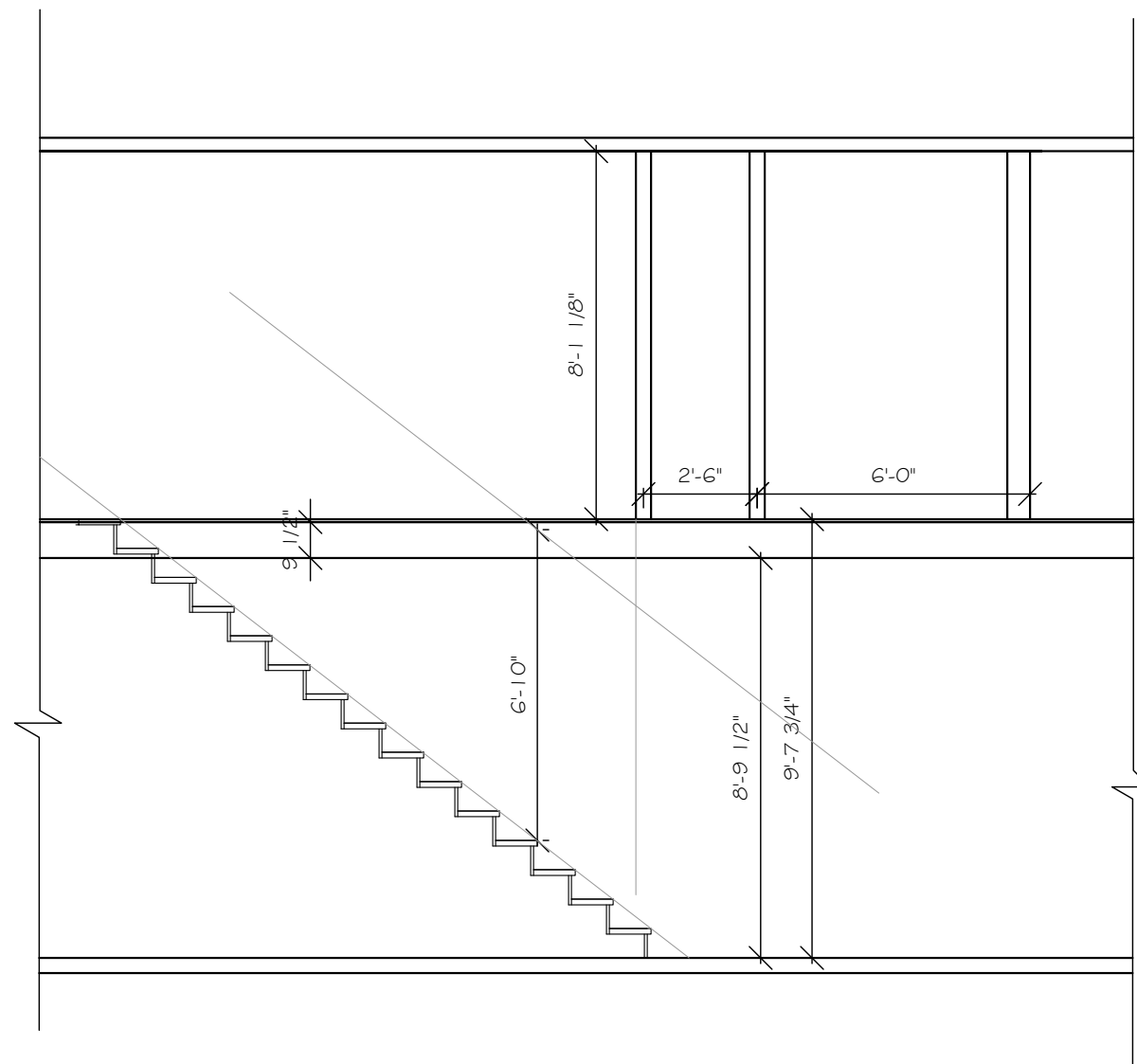
Fin Sq Ft:

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 WI LIC: DC-070800080



INTERIOR STAIR DETAIL

GARAGE COMMON WALL



CLIENT:
Project:

LOCATION:
LOT _ BLK_
PELTIER RESERVE

Street
CITY
MN ZIP
JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	7.23.24

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Homeowner Signature

Agent:
Plan: HIGHLAND
Total Foundation: 1384
House Foundation: 966
Finished: 1752
Unfinished: 180

Scale: 1/4" = 1'-0"

Fin Sq Ft:

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 MN LIC: BC631164
 WI LIC: DC-070800080

CLIENT:
 Project:

LOCATION:
 LOT _ BLK_
 PELTIER RESERVE
 Street
 CITY
 MN ZIP
 JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	7.23.24

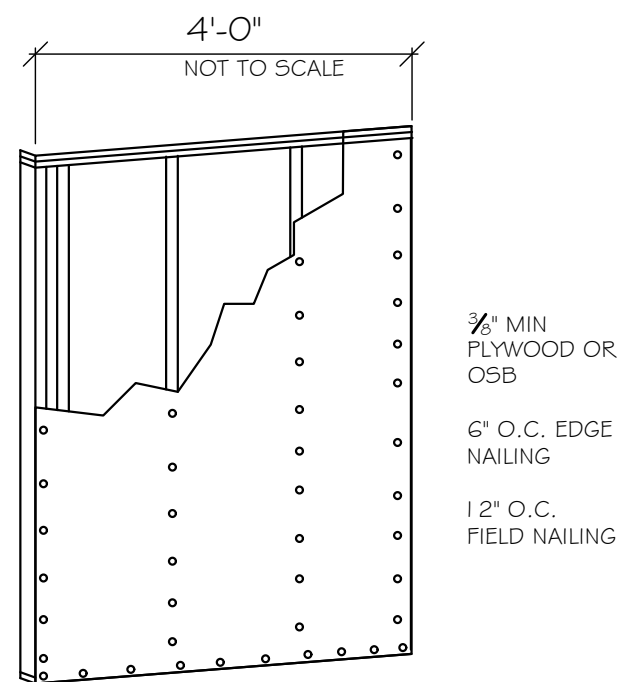
All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

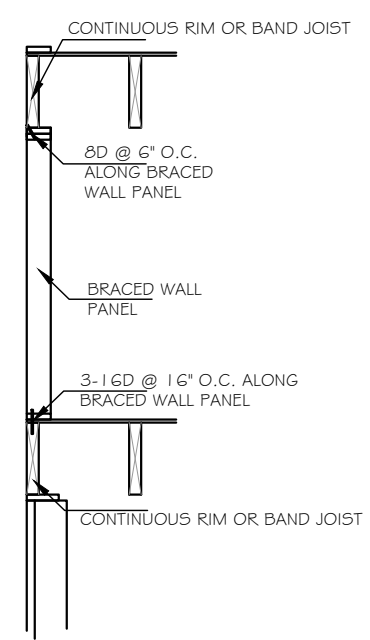
Agent:
 Plan: HIGHLAND
 Total Foundation: 1384
 House Foundation: 966
 Finished: 1752
 Unfinished: 180

Scale: 1/4" = 1'-0"

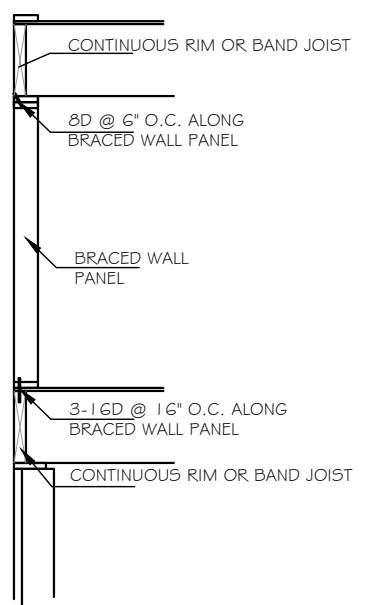
Fin Sq Ft:



BRACE WALL PANELS: CS WSP
 NOT TO SCALE

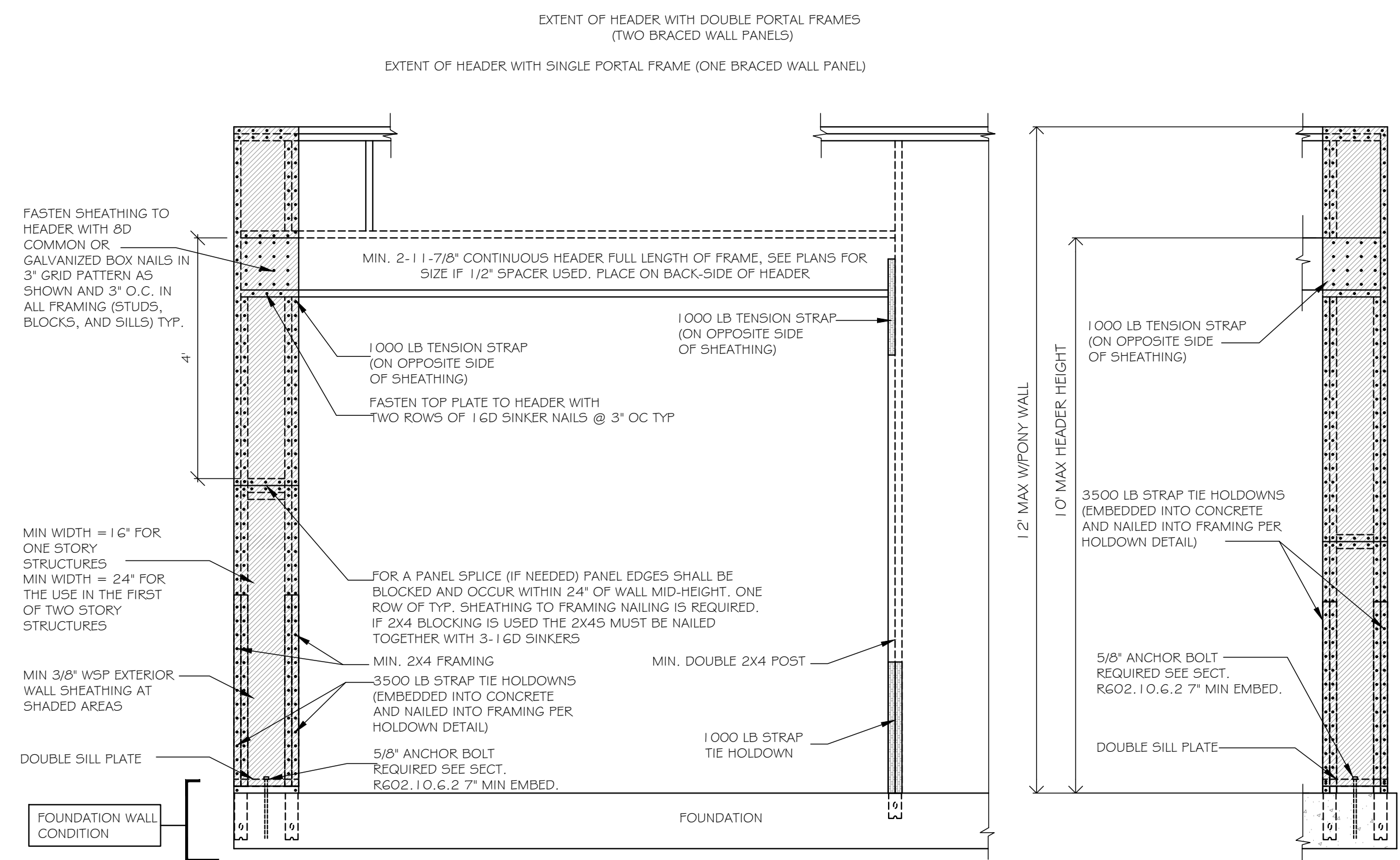


PARALLEL FRAMING

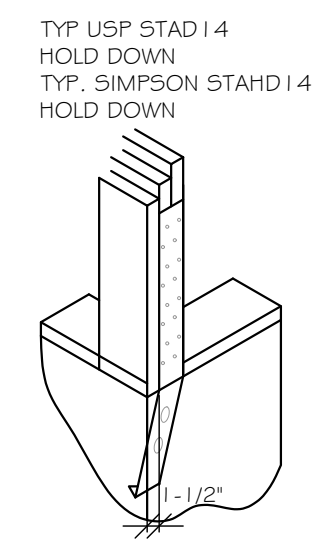


PERPENDICULAR FRAMING

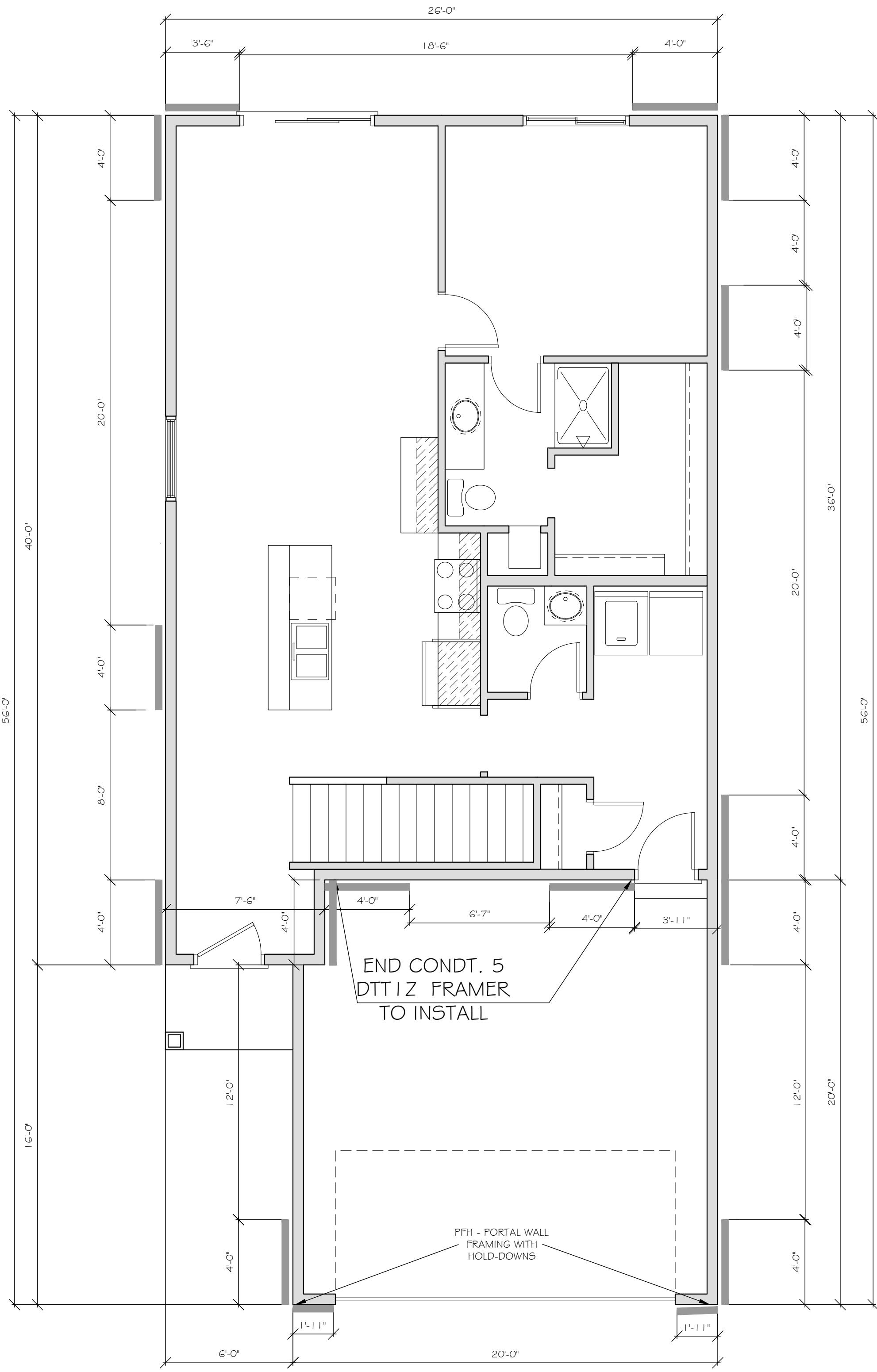
———— = BRACED WALL PANEL



PORTAL WALL FRAMING DETAIL FOR GARAGE



HOLD DOWN DETAIL



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 MN LIC: BCG31164
 WI LIC: DC-070800080

CLIENT:
 Project:

LOCATION:
 LOT _ BLK_ DEVELOPMENT

 Street
 CITY
 MN ZIP
 JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	7.23.24

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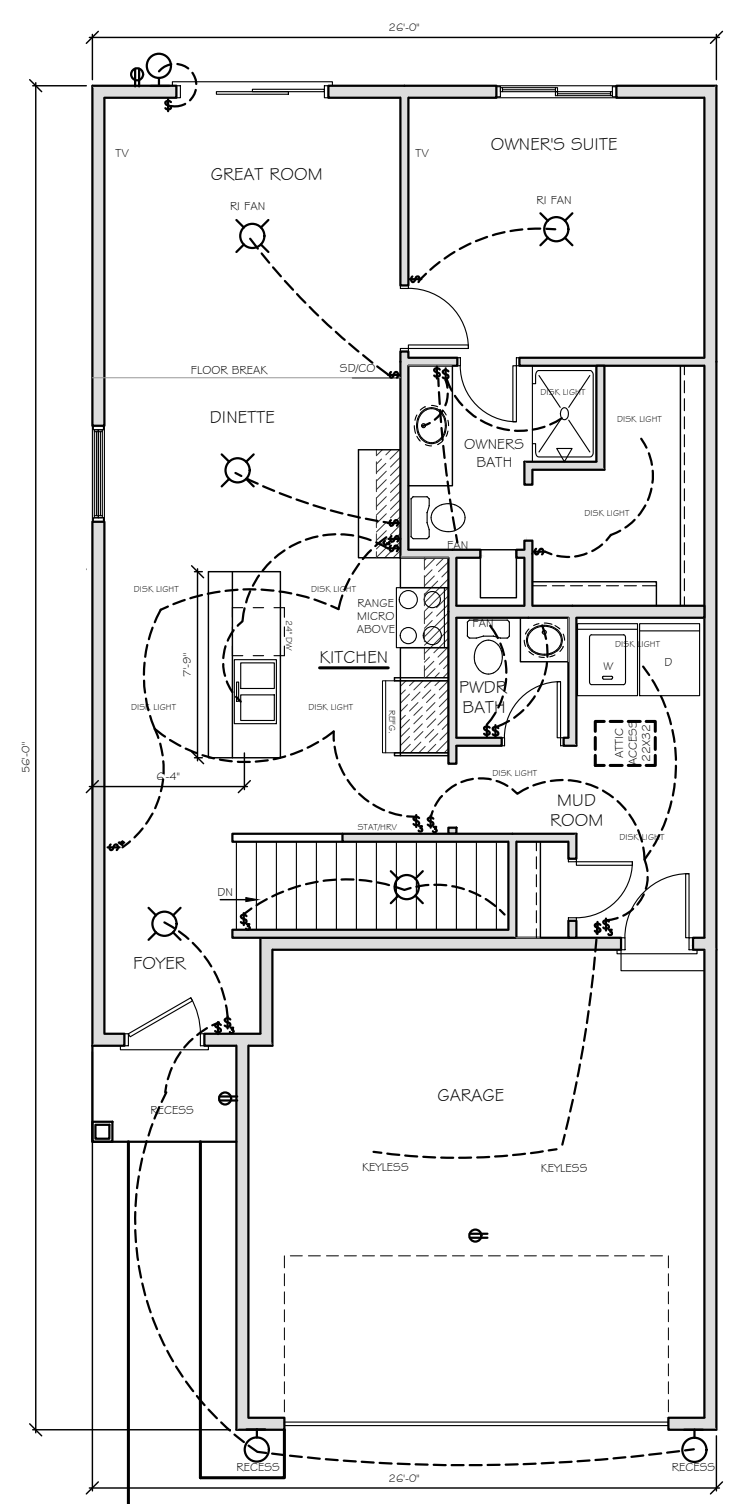
Homeowner Signature

Agent:
 Plan: HIGHLAND
 Total Foundation: 1384
 House Foundation: 966
 Finished: 1777
 Unfinished: 155

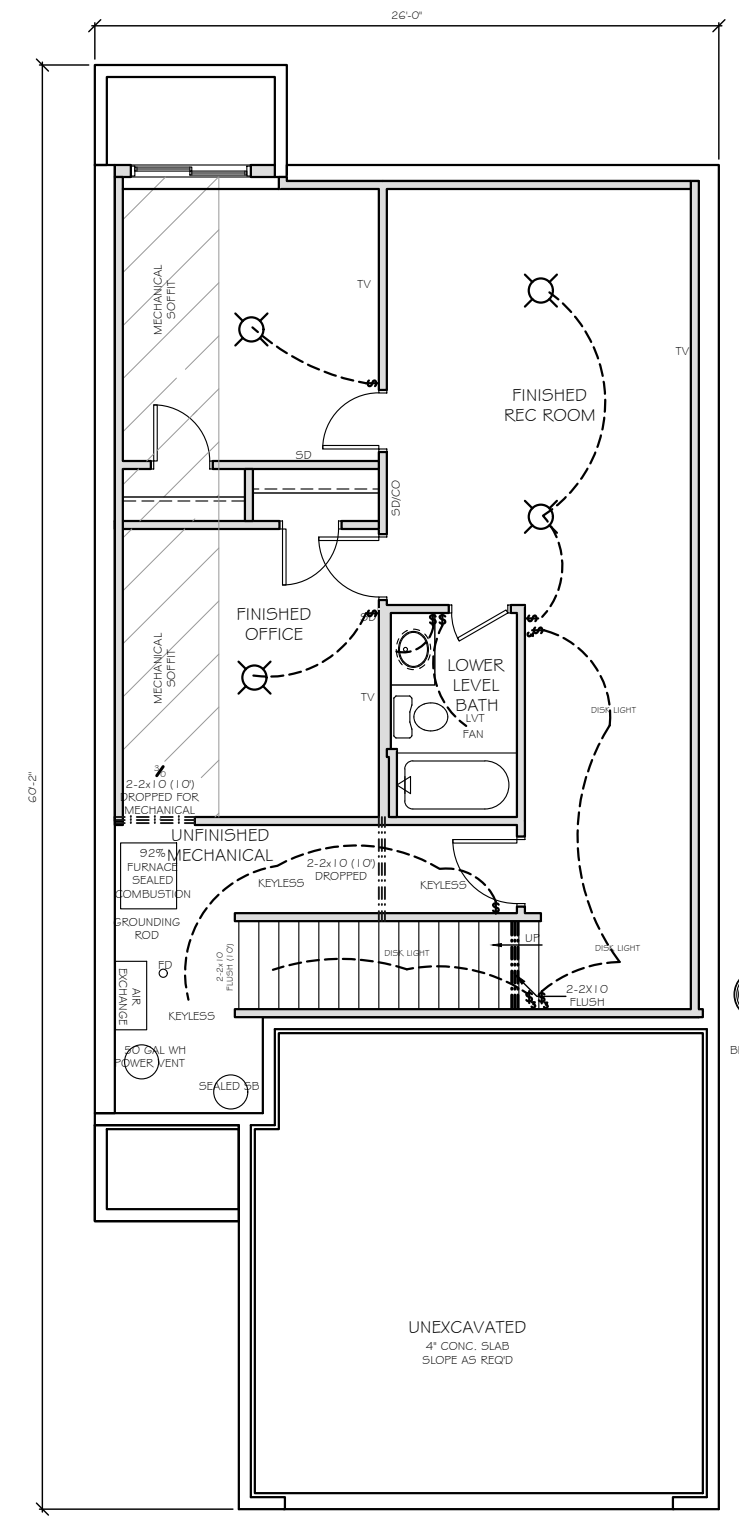
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Fin Sq Ft:

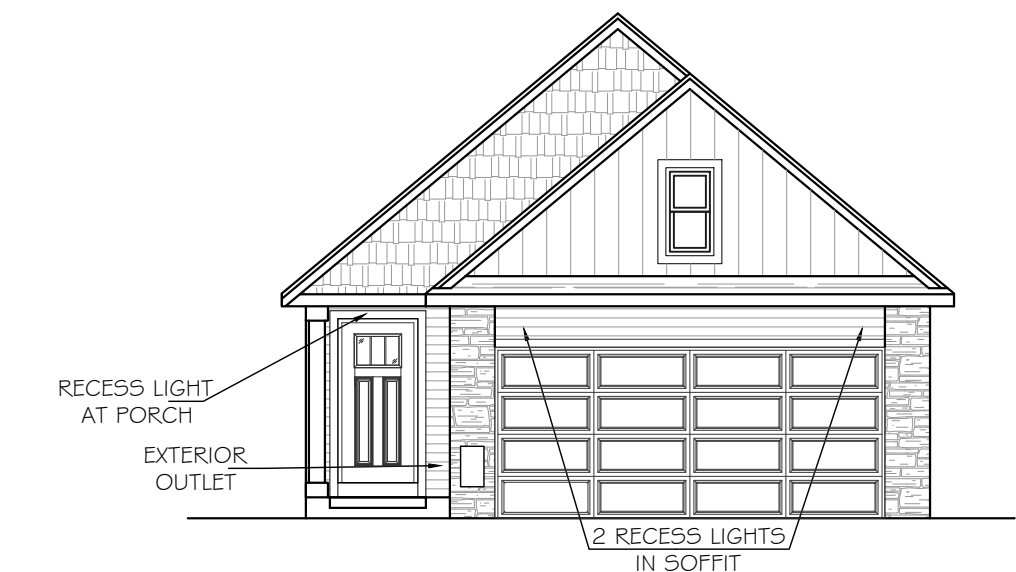
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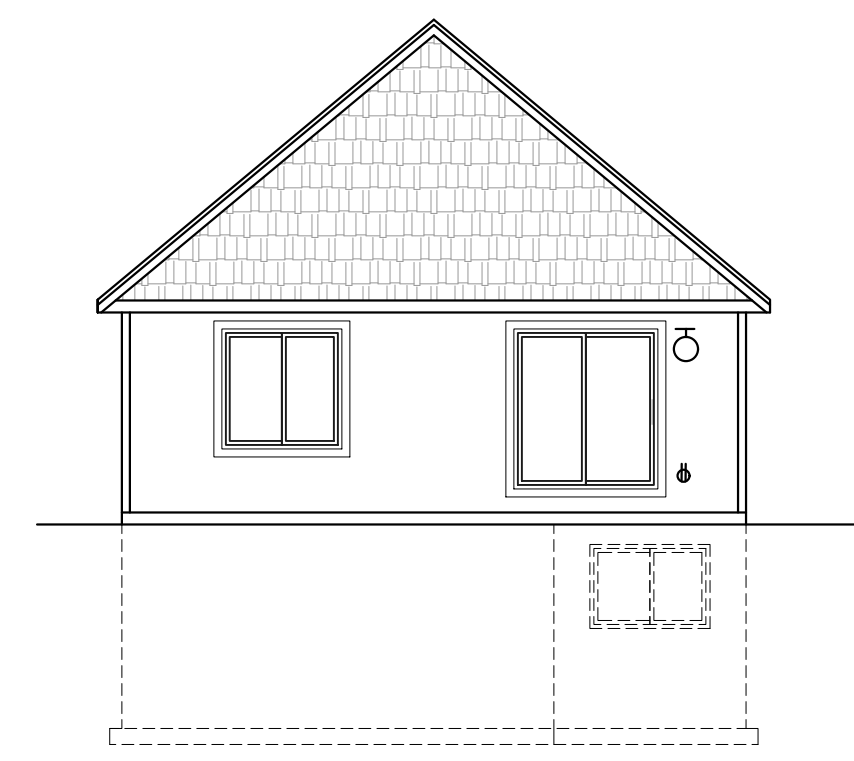
MAIN LEVEL
 SCALE: 1/8" = 1'-0"



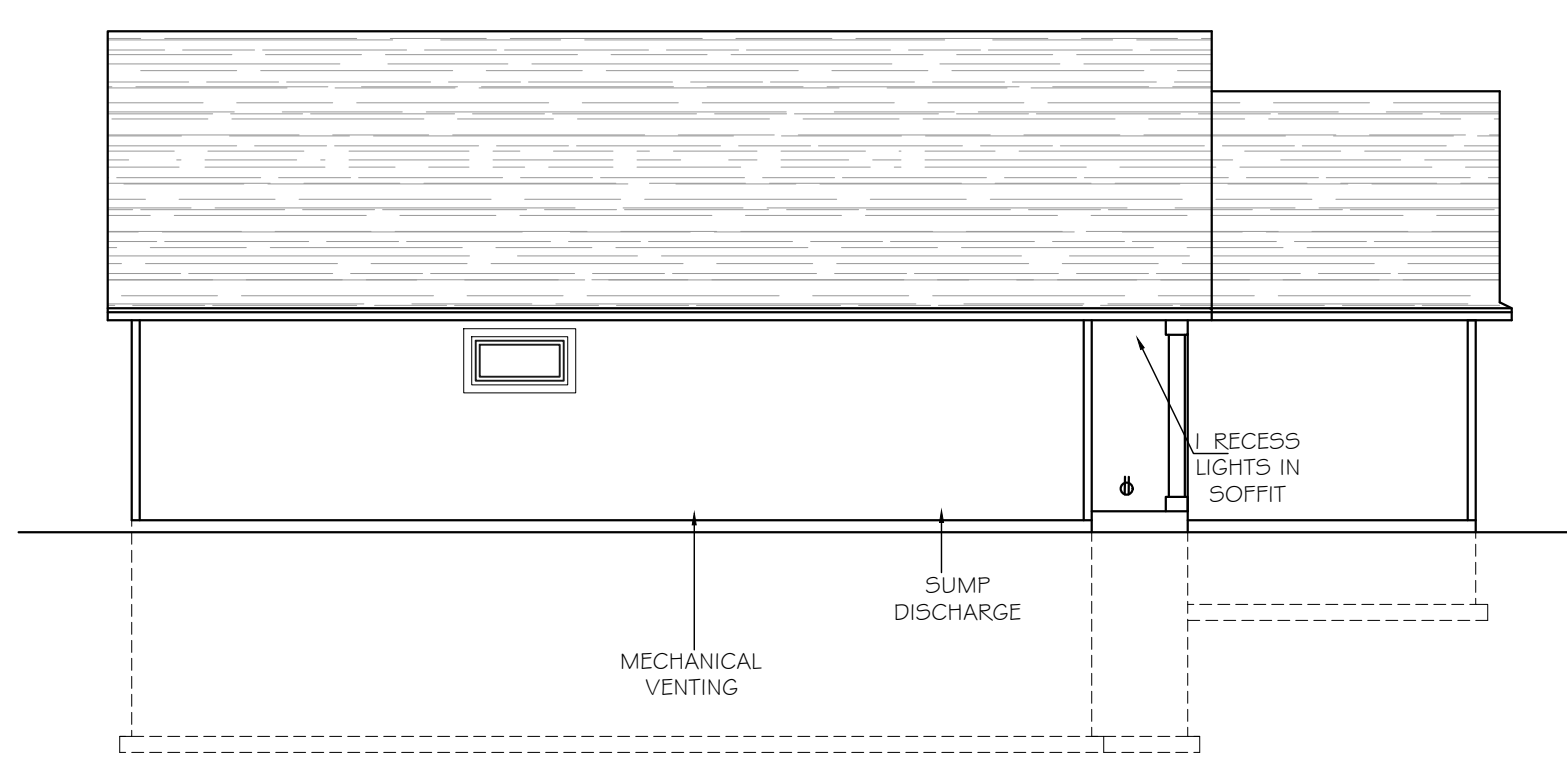
LOWER LEVEL
 SCALE: 1/8" = 1'-0"



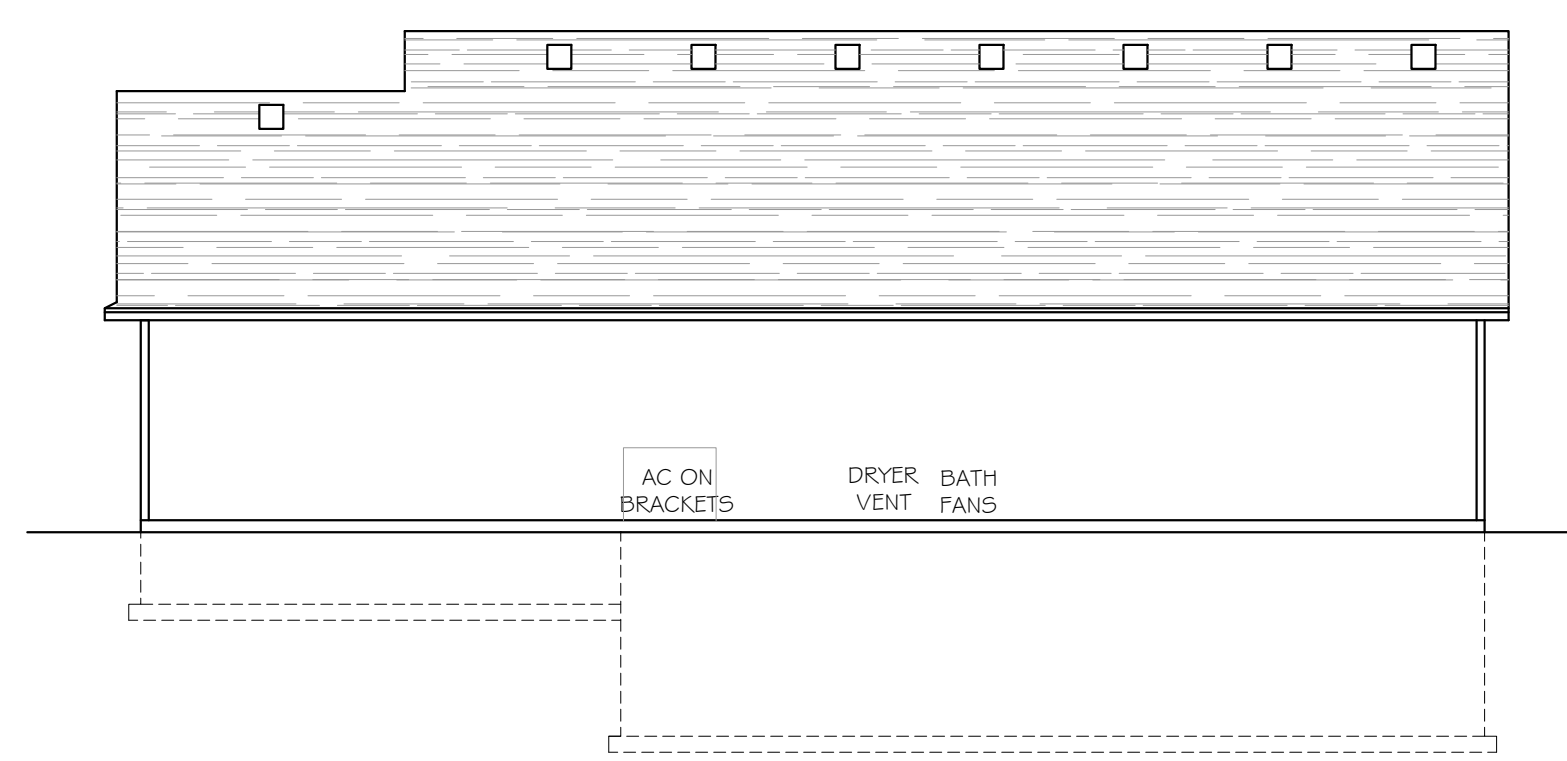
FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

CLIENT:
 Project:
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 LOT _ BLK_
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 Street
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REVISION 1	
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Homeowner Signature
 Agent:
 Plan: HIGHLAND
 Total Foundation: 1384
 House Foundation: 966
 Finished: 1752
 Unfinished: 180

Scale: 1/4" = 1'-0"
 Fin Sq Ft: