

ASPHALT SHINGLES
30 YR ARCH.

4" HARDBOARD
WINDOW TRIM

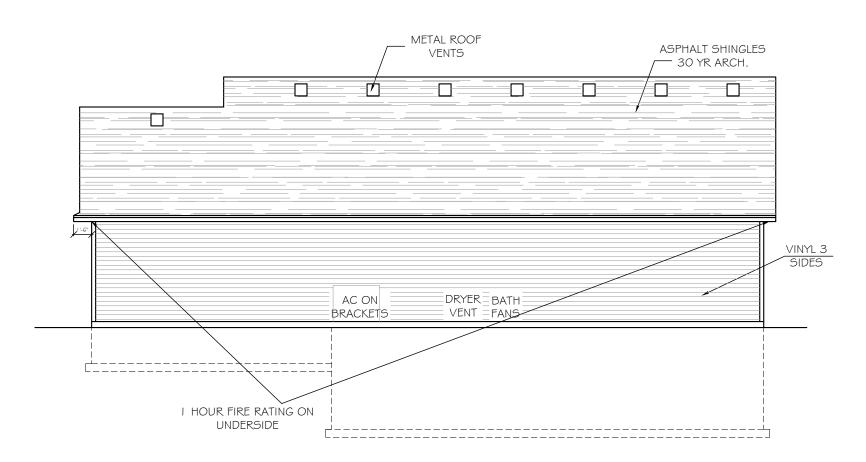
VINYL 3

SIDES

I HOUR PIRE RATING ON MECHANICAL VENTING
UNDERSIDE

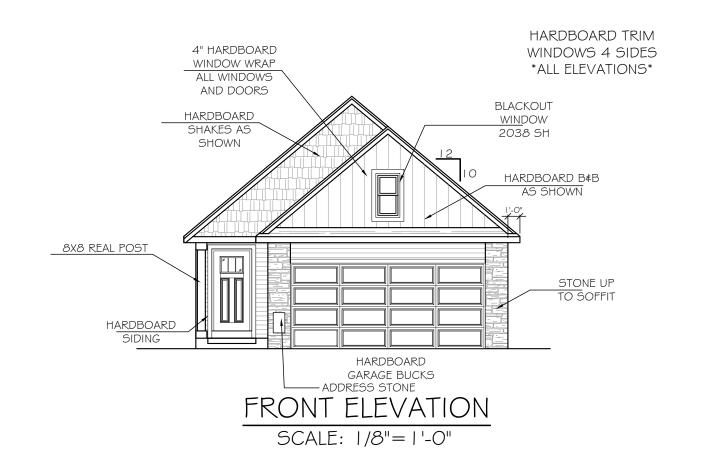
LEFT ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE: 1/8"=1'-0"



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CLIENT: Project:

LOCATION:

LOT \_ BLK\_

PELTIER RESERVE

Street
CITY
MN ZIP

JOB #:

REVISION I
REVISION 2
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REVISION 7
REVISION 8
REVISION 9

REVISION 10
REVISION 11
FINAL 7.23.24

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Homeowner Signature

Agent:

Plan: HIGHLAND

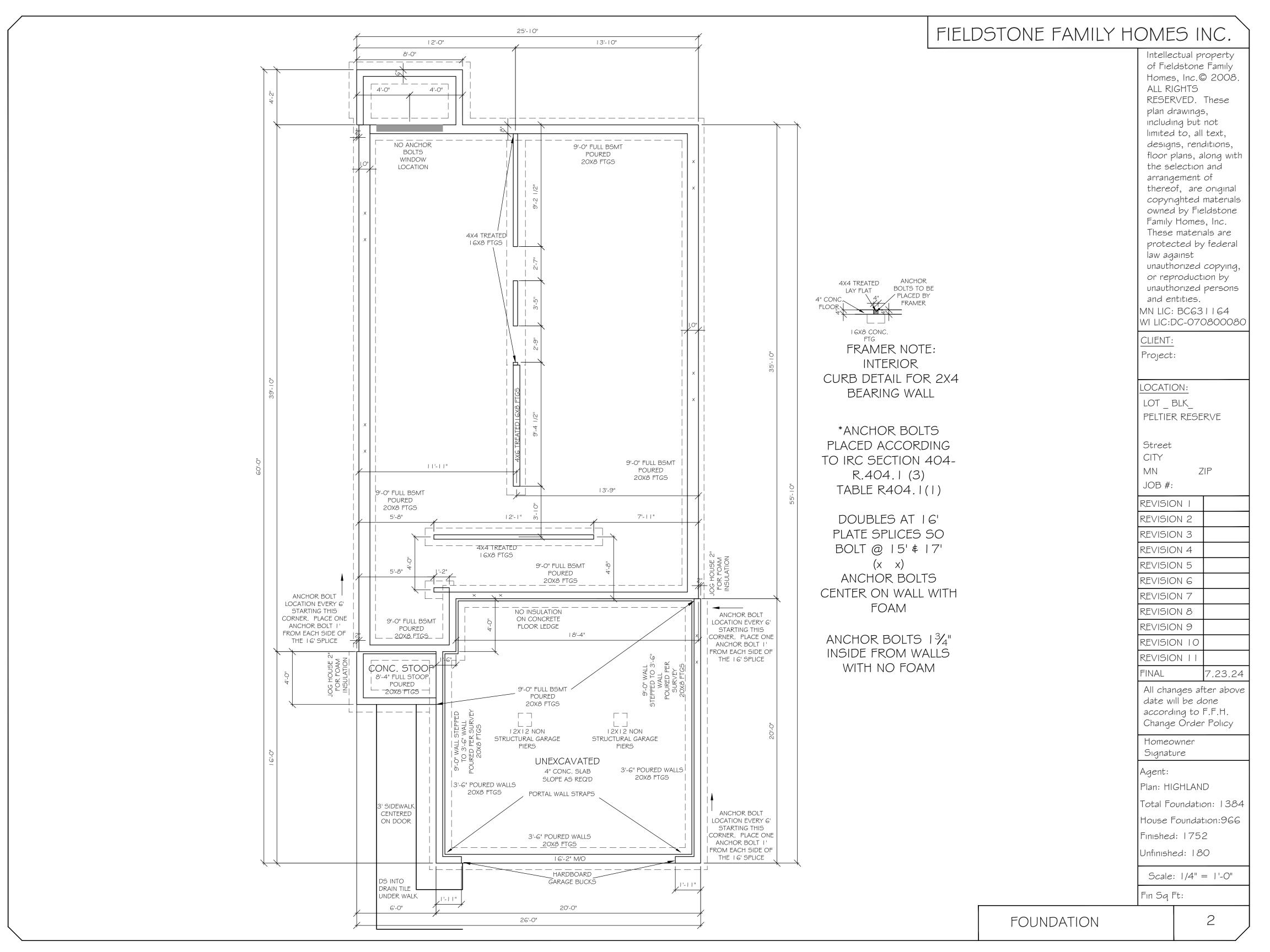
Total Foundation: 1384 House Foundation:966

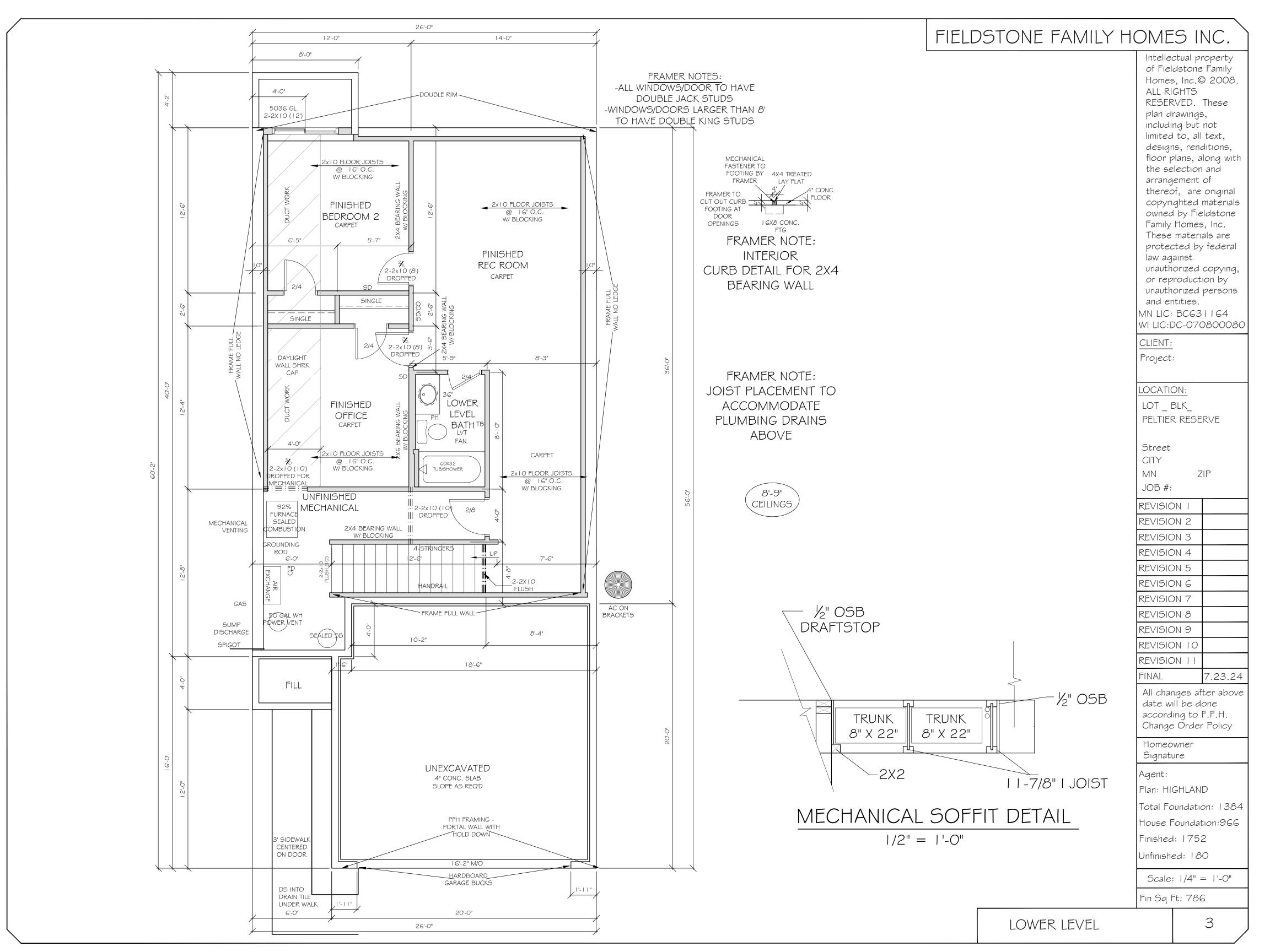
Finished: 1752 Unfinished: 180

Scale: 1/8" = 1'-0"

Fin Sq Ft: 1752

ELEVATIONS





### 26'-0" FRAMER NOTES: 13'-0" 13'-0" -ALL WINDOWS/DOOR TO HAVE 6'-8" 6'-8" DOUBLE JACK STUDS -WINDOWS/DOORS LARGER THAN 8' 5050 GL 2-2X10 (12') 6/0 SGD 2-2X10 (8') TO HAVE DQUBLE KING STUDS MFG ROOF TRUSSES @ 24" O.C. OWNER'S SUITE CARPET GREAT ROOM CARPET 4'-6" 3'-6" 5'-0" SD/CO FLOOR BREAK 10'-7" 4020 TRANSOM 2-2X10 (10') **OWNERS** DINETTE WIC BATH CARPET LAMT LVT 3'-4" 18"W 24"D 84" HT LINEN SINGLE MICRO ABOVE DRYER VENT KITCHEN D $\overset{\mathbb{W}}{\backsimeq}$ MECHANICAL VENTING PWDR <sup>1</sup> **BATH** 6'-0" 4'-4" LVT FLOOR 1% BREAK | SRO 4'-2" | 2'-6" 5'-10" ( MUD FRAME FRAME 1/2 WALL W/ ROOM LVT 5'-10" GAS B/O 20 MIN FIRE RATED STEEL 2-2X10 (8') **FOYER** SUMP 3'-0" LAMT CEDAR STEP 6'-0" SPIGOT 18'-6" 3/0 606HD 2-2x10 (8') **8X8 REALPOST** 1'-6" MFG ROOF HOLD POST IN -TRUSSES @ 24" O.C. IX6 HARDBOARD COLLAR ON STOOP GARAGE CONCRETE 4" CONC.SLAB (HARDBOARD SLOPE AS REQ'D COLLAR INSTALLED PER CODE ROCK UP FIRE TRUSS BY SIDERS) TRUSSES TO BEAR ON GARAGE WALL -EXTEND HEELS FOR 16X7 GARAGE COVERED PORCH OVERHEAD DOOR \_ LONG RANCH PANEL 8' CEILINGS PFH FRAMING -PORTAL WALL WITH HOLD DOWN 3' SIDEWALK CENTERED ON DOOR 2-117/8" M/L (20') (1)2038 SH BLACKOUT WINDOW CENTERED ABOVE JNDER WALK \_\_HARDBOARD\_\_\_ GARAGE BUCKS 2'-0" 16'-0" 2'-0" 6'-0" 20'-0" 26'-0"

### FIELDSTONE FAMILY HOMES INC.

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REVISION 1 1
FINAL 7.23.24

All changes after above date will be done according to F.F.H.
Change Order Policy

Homeowner Signature

Agent:

Plan: HIGHLAND

Total Foundation: 1384

House Foundation:966

Finished: 1752 Unfinished: 180

Scale: 1/4" = 1'-0"

Fın Sq Ft: 966

#### \*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL 2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020 ALL 2X4 AND 2X6 STUDS WILL BE WESTERN WHITES NO. 2 OR BETTER NOTE: VENT 1300TH ROOF 12 IN SOFFIT 1/2 IN ROOF NEAR RIDGE WINDOWS ARE MAXIMUM OF .30 FLASH ABOVE ALL EXTERIOR OPENINGS U-VALUE WITH MAXIMUM SHGC .29 SHINGLES PER ELEVATION/SPECS. WINDOW FALL PROTECTION PER 15# FELT RADON VENT PIPE IN ATTIC - INSULATE WITH R312.2.1 AND R312.2.2 MIN. R-4 PIPE WRAP 1/2" ROOF SHEATHING PATIO DOORS .30U AND .26 SHGC ALL STEEL DOORS . 19U RADON VENT PIPE TERMINATED AT I" AIR SPACE -SEE ELEVATION LEAST 12" ABOVE SURFACE OF ROOF R-50 INSULATION -\*\*NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY MINIMUM 3" ABS OR PVC OR OSB ROOF SHEATHING -INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION EQUIVALENT GAS TIGHT PIPE W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS 4" PIPE MAY BE MORE EFFECTIVE, BUT 6'-0" ICE AND WATER SHEILD -REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE NOT REQUIRED DIRECTED TO BRET JUENKE #651-463-9333 MFG. TRUSSES @ 24" O.C. SPACE PROVIDED FOR INSTALLATION 71/2" ENERGY HEEL -\*\*NOTE: APPROVED VAPOR RETARDER WITH JOINTS OF A FAN LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB RT7 TRUSS TIE DOWN BY USP - MINIMUM 24" DIAMETER CENTERED CONNECTIONS OR EQUAL ON THE AXIS OF THE VENT STACK - MINIMUM VERTICAL DISTANCE OF 3 RIGID WIND WASH -METAL DRIP EDGE -2X6 \$ ALUMINUM FACIA VENTED ALUMINUM SOFFIT -4 MIL VAPOR BARRIER WARM SIDE OF ALL WALLS AND CEILINGS DOUBLE RIM PER PLAN R-20 INSULATION -EXTERIOR WALL SHEATHING -NON-BEARING WALL BLOCKING PER BAM ½" GYP. BD. — NEED ROOM FOR A35 VINYL SIDING -BOLT LOCATION MIN 21/3" FROM EXTERIOR EDGE AIR INFILTRATION BARRIER OF CONCRETE WALL ALL EXT. WALLS 3/4" T&G GLUED OSB SINGLE LAYER FLOOR SYSTEM R-20 SPRAY TYPICAL ANCHORING NON BEARING EXTERIOR Z" X I 2" ANCHOR BOLT OR FOUNDATION WALLS STRAP 6'-0" O.C. @ WALL RUNS 12" O.C. @ WALL ENDS SIDE WALLS 2XIO FLOOR 2X8 TRD BOTTOM PLATE JOISTS @ 16" O.C. CANTILEVERED W/ BLOCKING 1.5" OVER INSULATION SCUFF COAT INSUL. GRADE ALTERNATE - EXTERIOR R-10 TOTAL SQ.FT. BETWEEN FINISHED GRADE AND TOP OF EACH FOUNDATION R-10 INSULATION : WALL DOES NOT EXCEED 1.5XTOTAL LFT. OF EACH FOUNDATION WALL THAT ENCLOSES CONDITIONED SPACE. 8'-4" POURED FULL BASEMENT WALL DRAIN TILE AS REQUIRED -20" X 8" FOOTING PASSIVE RADON 4" CONC. SLAB REF. AS REQ. ON SYSTEM AS REQUIRED 6 MIL SEALED MOISTURE BARRIER ON 6" COMPACTED GRANULAR FILL

FULL BASEMENT

### FIELDSTONE FAMILY HOMES INC.

75% OF THE BULBS IN PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS REQUIREMENT APPLIES TO INDOOR AND OUTDOOR FIXTURES, INCLUDING ACCESSORY STRUCTURES AND GARAGES. HIGH EFFICACY BULBS ARE: 60 LUMENS/W FOR LAMPS OVER 40W: 50 LUMENS/W FOR LAMPS OVER 15W TO 40W: 40 LUMENS/W FOR LAMPS 15W OR LESS

SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.

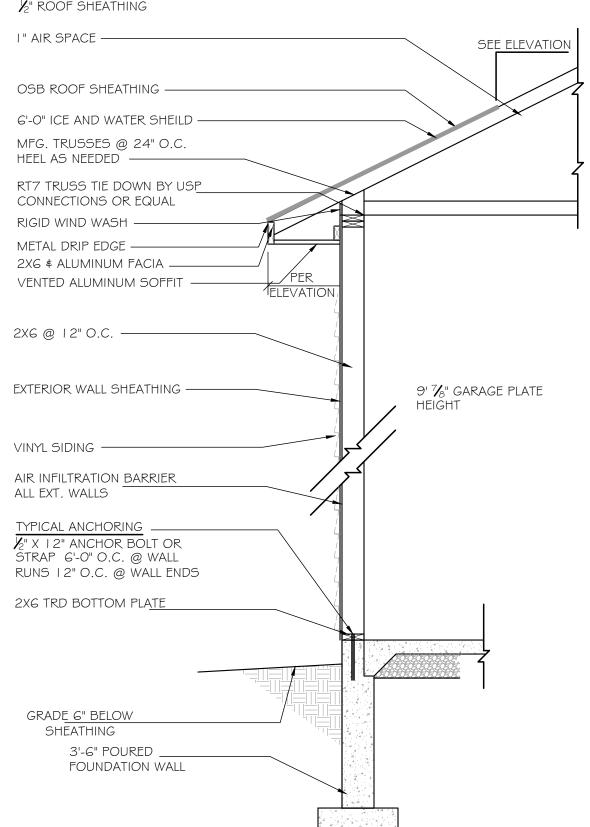
R 404.1 LIGHTING EQUIPMENT A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES OF 75 PERCENT OF THE PERMANENTLY INSTALLED

\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1300TH ROOF 12 IN SOFFIT 1/2 IN ROOF NEAR RIDGE FLASH ABOVE ALL EXTERIOR OPENINGS SHINGLES PER ELEVATION/SPECS. 15# FELT

1/2" ROOF SHEATHING

ALL STRUCTURAL LUMBER



EXTERIOR GARAGE WALL

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**REVISION 8** REVISION 9 REVISION 10

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7.23.24

Homeowner Signature

Agent:

Plan: HIGHLAND

Total Foundation: 1384 House Foundation:966

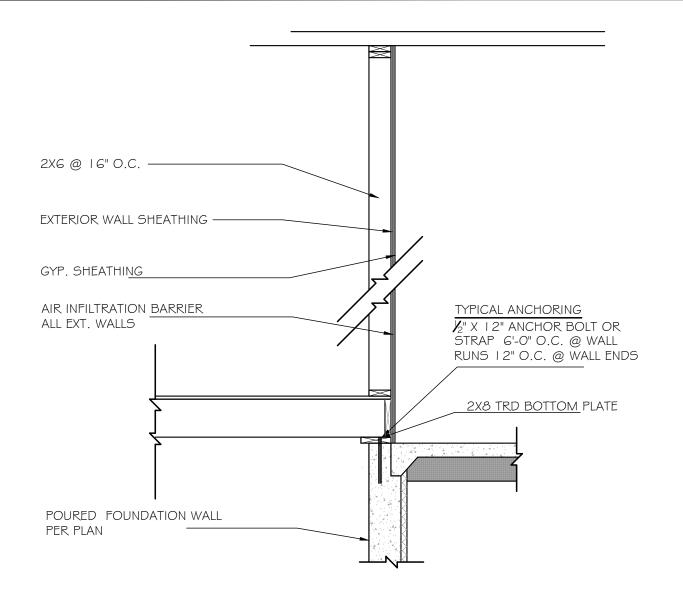
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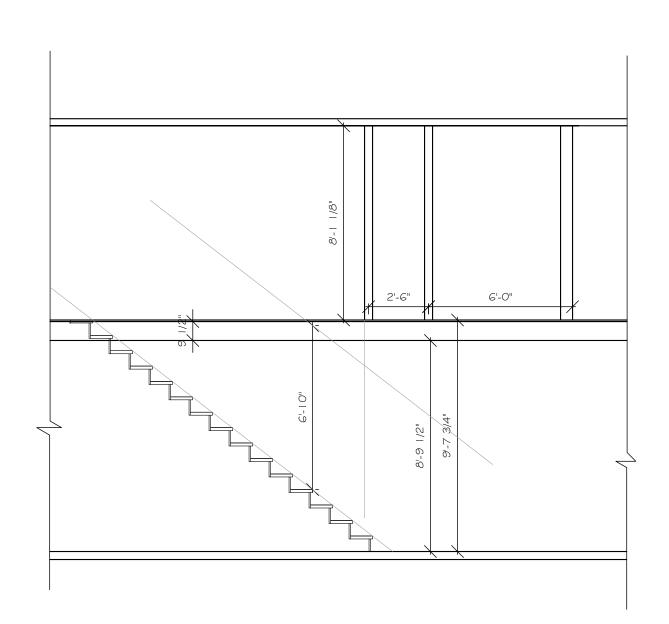
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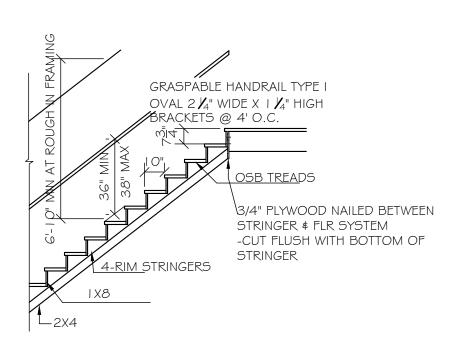
DETAILS

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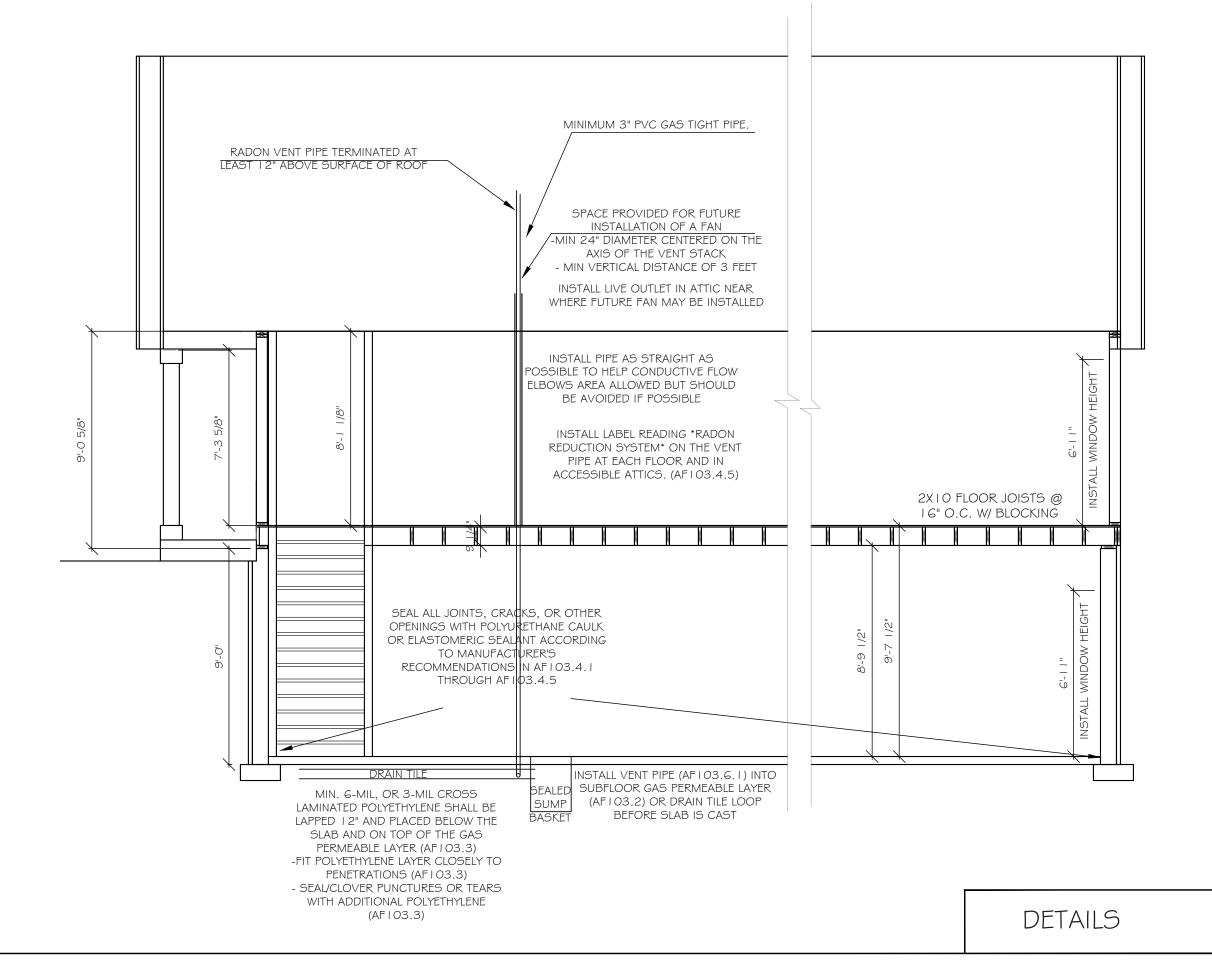


## GARAGE COMMON WALL





# INTERIOR STAIR DETAIL



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Signature

Homeowner

Agent:

Plan: HIGHLAND

Total Foundation: 1384 House Foundation: 966

Finished: 1752

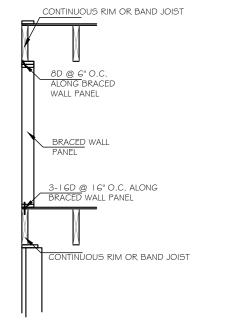
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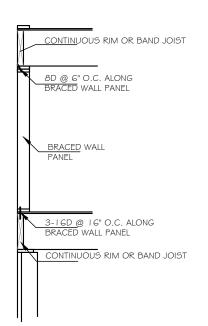
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## BRACE WALL PANELS: CS WSP NOT TO SCALE



PARALLEL FRAMING

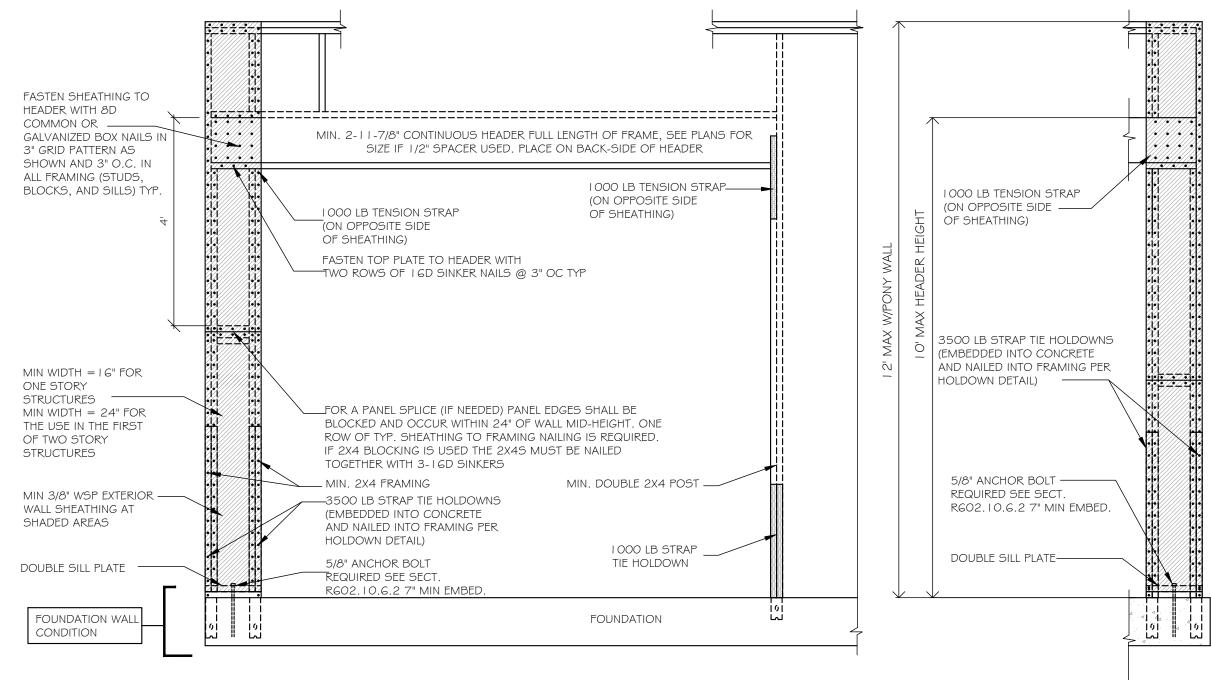


PERPENDICULAR FRAMING

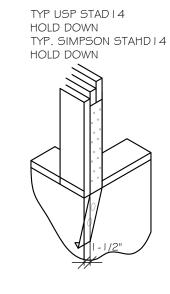
=BRACED WALL PANEL

### EXTENT OF HEADER WITH DOUBLE PORTAL FRAMES (TWO BRACED WALL PANELS)

EXTENT OF HEADER WITH SINGLE PORTAL FRAME (ONE BRACED WALL PANEL)



PORTAL WALL FRAMING DETAIL FOR GARAGE



HOLD DOWN DETAIL

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Homeowner Signature

Agent:

Plan: HIGHLAND

Total Foundation: 1384

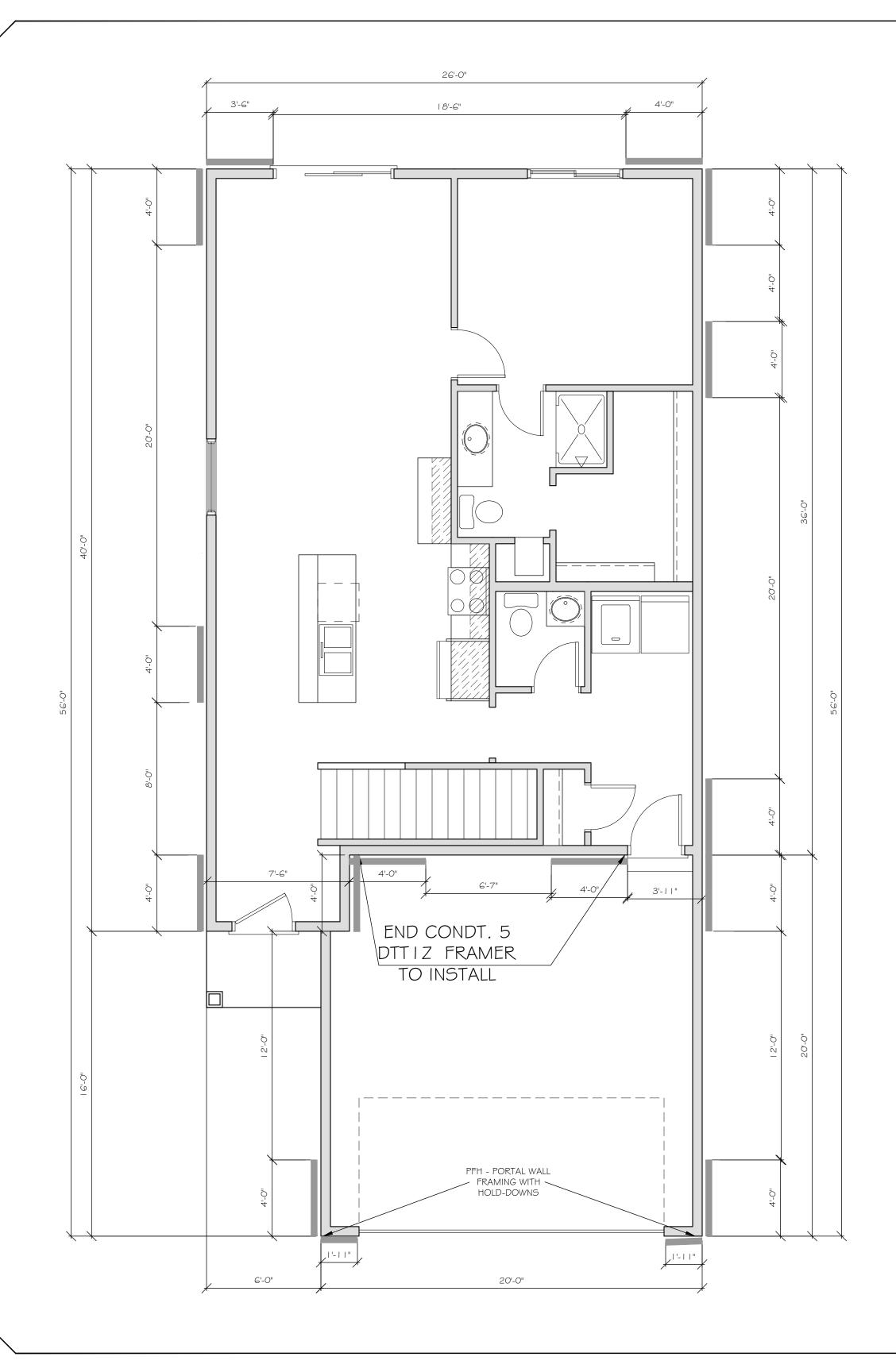
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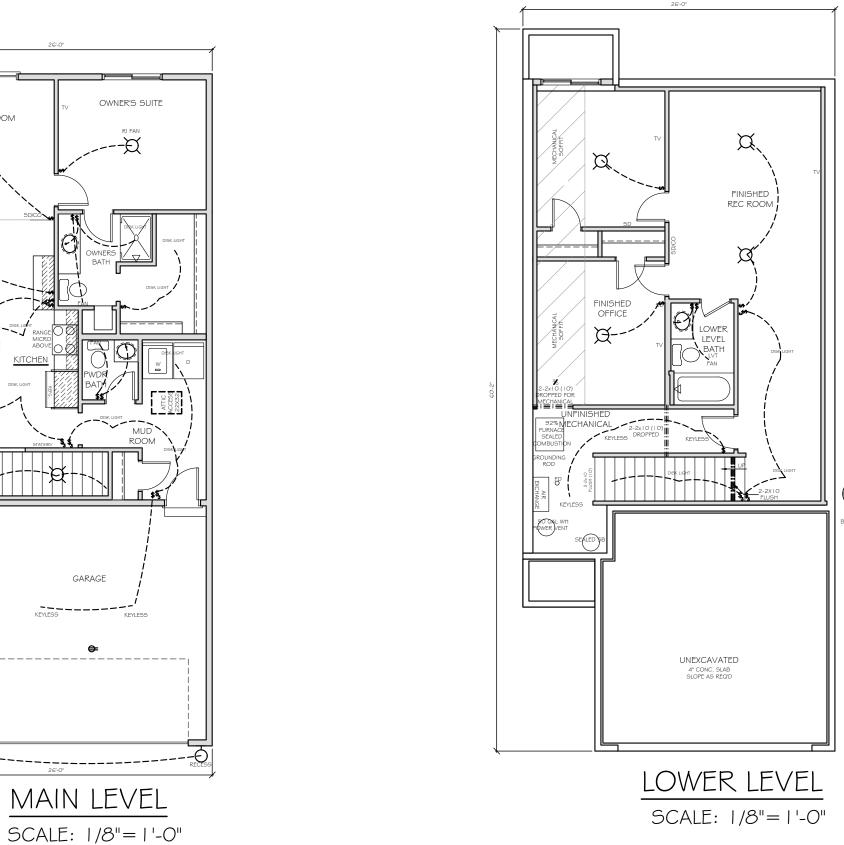
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Unfinished: 155

Scale: 1/4" = 1'-0"

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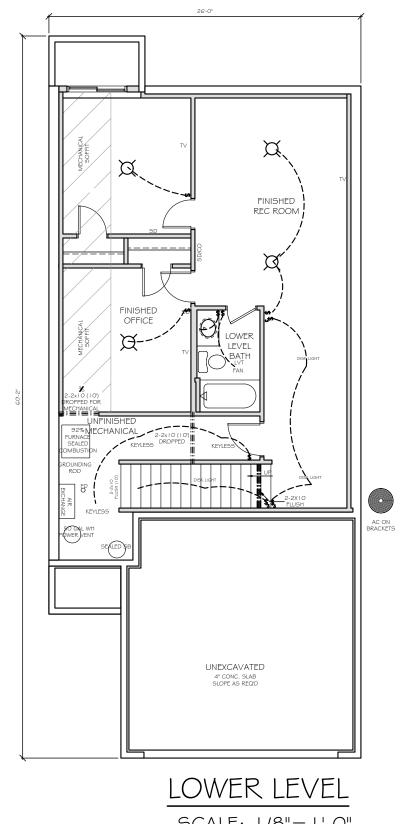
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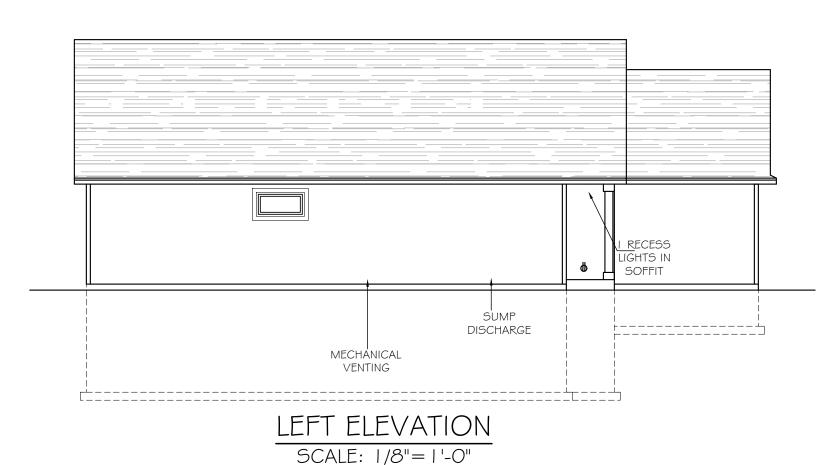
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ELECTRICAL PLAN

9

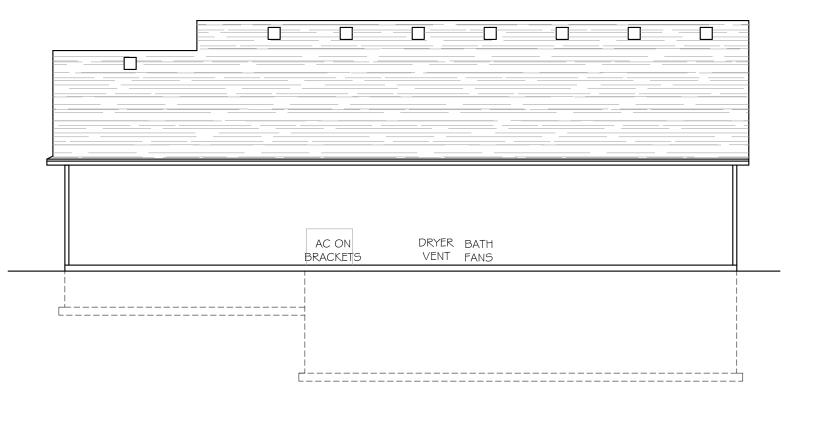




GREAT ROOM

GARAGE

RI FAN



RIGHT ELEVATION SCALE: 1/8"=1'-0"