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MN LIC: BCG31164  
WI LIC: DC-070800080

CLIENT:  
Project:

LOCATION:  
LOT \_ BLK\_ DEVELOPMENT

Street  
CITY  
MN ZIP  
JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	8.21.24

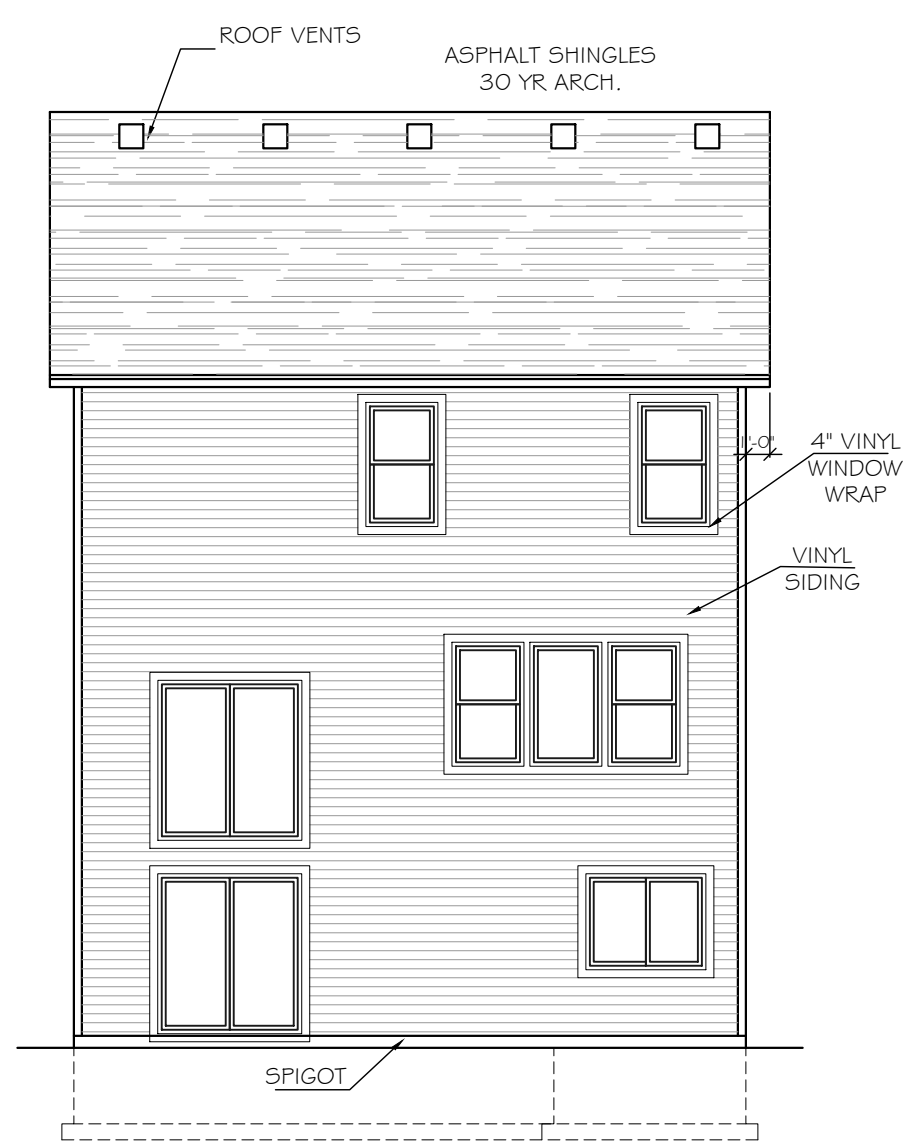
All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

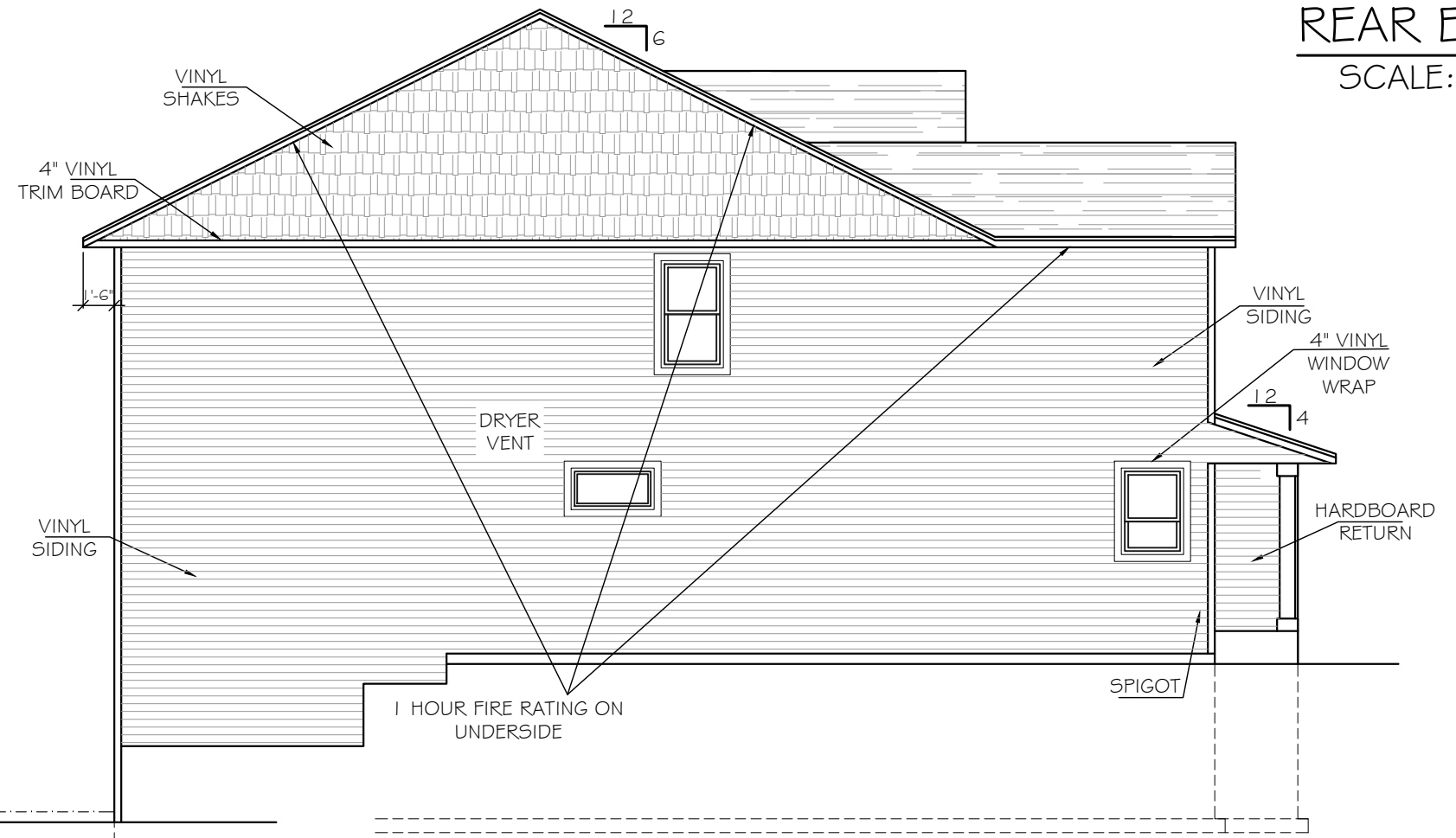
Agent:  
Plan: THE UPTOWN  
Total Foundation: 1596  
House Foundation: 1142  
Finished: 2218  
Unfinished: 1142

Scale: 1/8" = 1'-0"

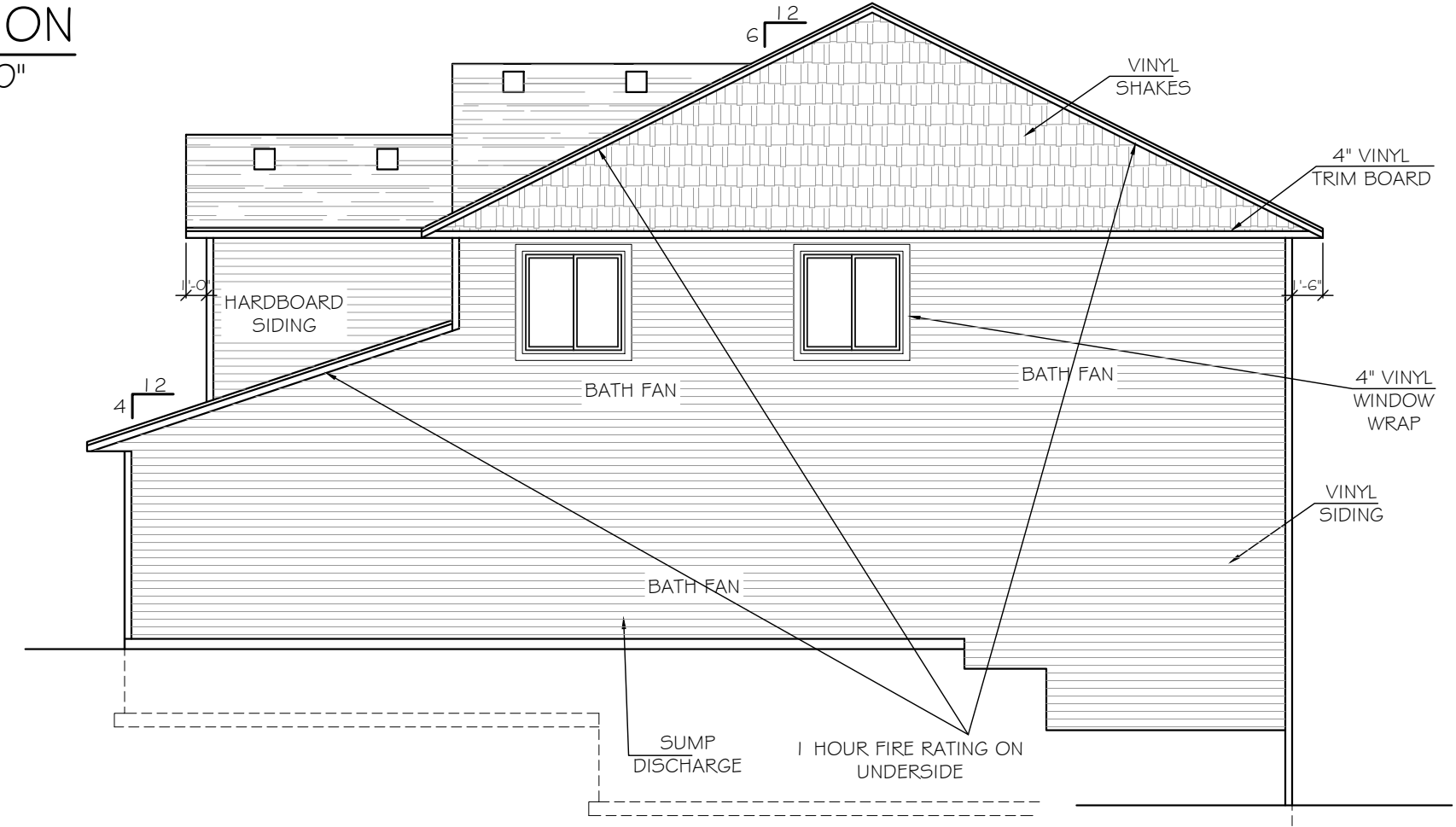
Fin Sq Ft: 2218



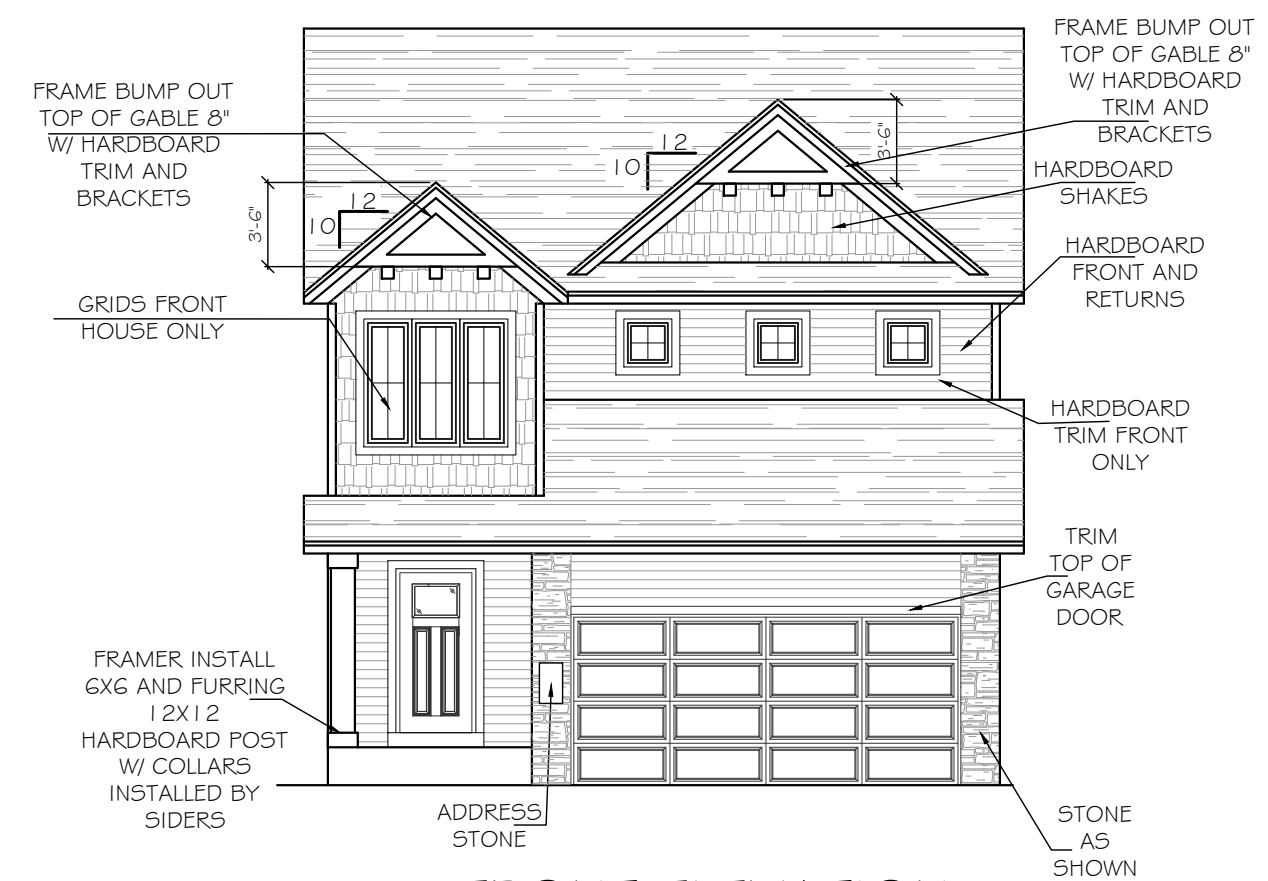
REAR ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

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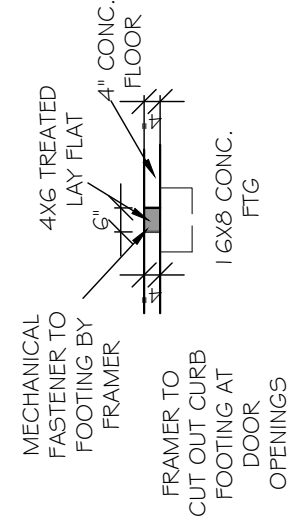
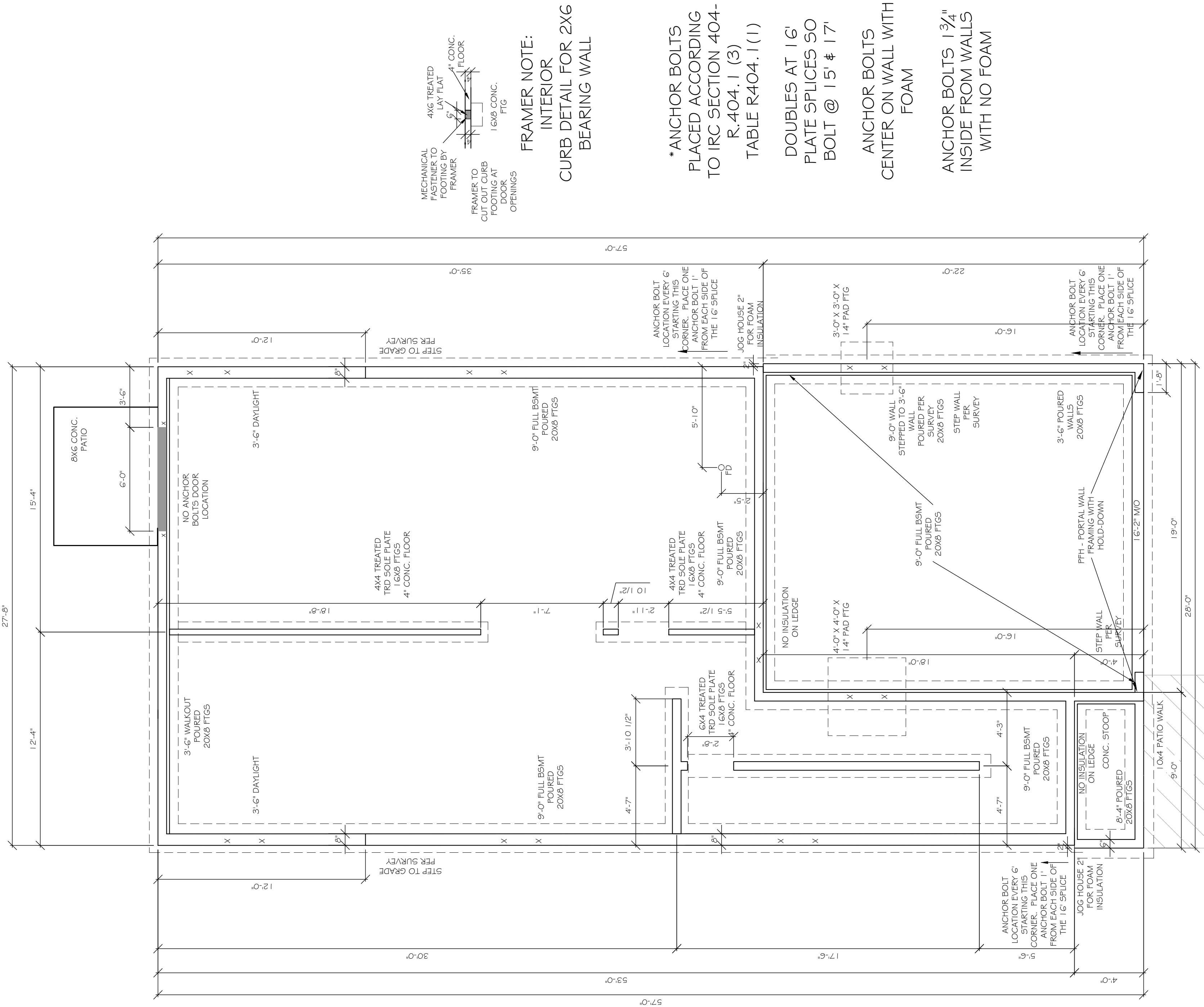
House Foundation: 1142

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Scale: 1/4" = 1'-0"

Fin Sq Ft:



FRAMER NOTE:  
INTERIOR  
CURB DETAIL FOR 2X6  
BEARING WALL

\*ANCHOR BOLTS  
PLACED ACCORDING  
TO IRC SECTION 404-  
R.404.1 (3)  
TABLE R404.1(1)

DOUBLES AT 16'  
PLATE SPLICES SO  
BOLT @ 15' & 17'

ANCHOR BOLTS  
CENTER ON WALL WITH  
FOAM

ANCHOR BOLTS 1 3/4"  
INSIDE FROM WALLS  
WITH NO FOAM

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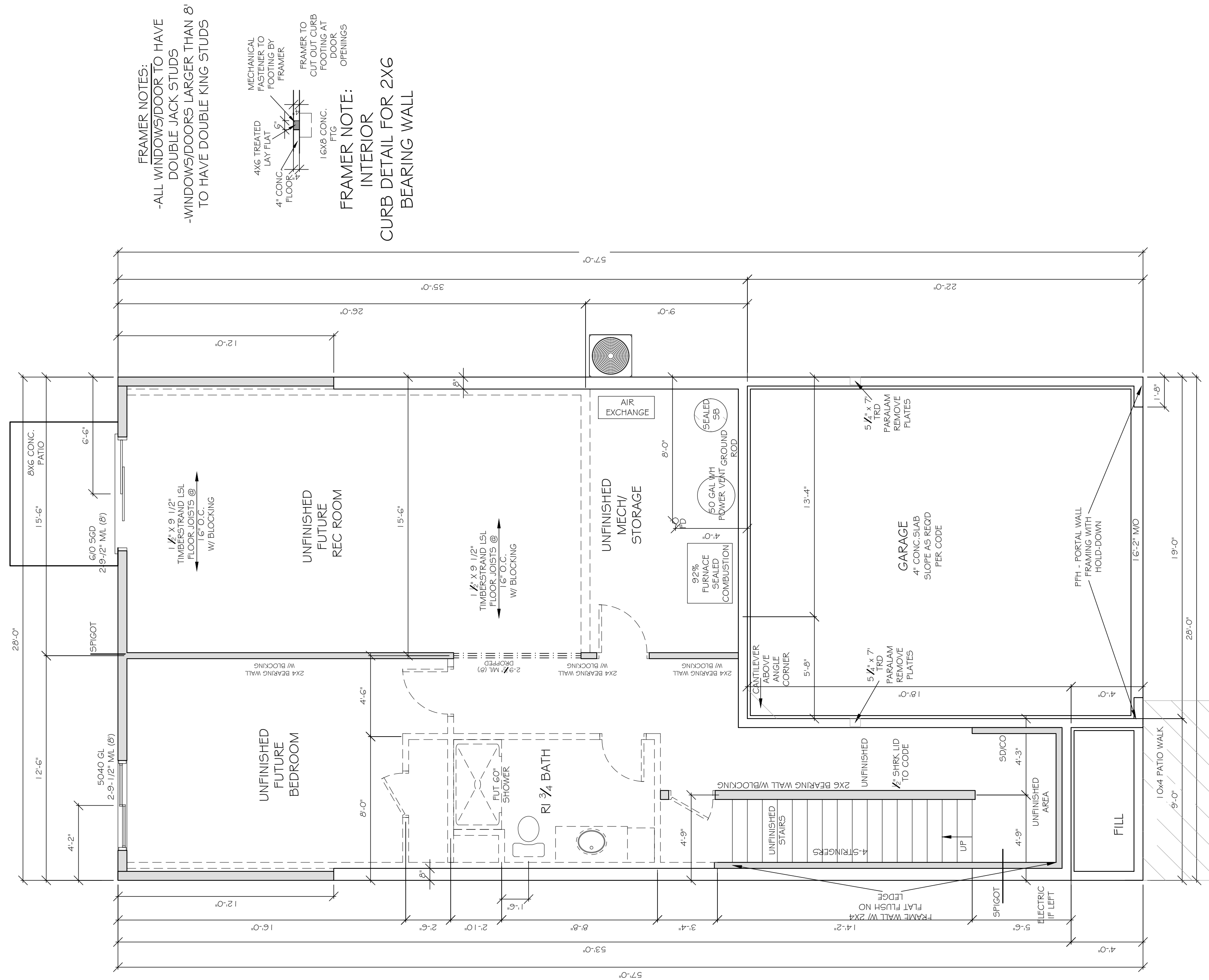
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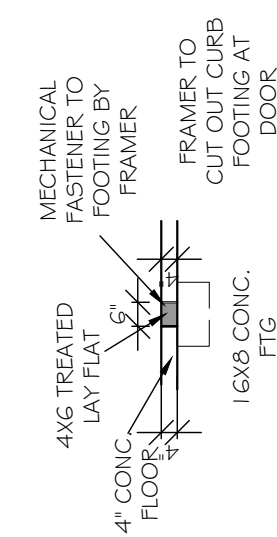
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Fin Sq Ft:



FRAMER NOTES:  
 -ALL WINDOWS/DOOR TO HAVE DOUBLE JACK STUDS  
 -WINDOWS/DOORS LARGER THAN 8' TO HAVE DOUBLE KING STUDS



FRAMER NOTE:  
 INTERIOR CURB DETAIL FOR 2X6 BEARING WALL

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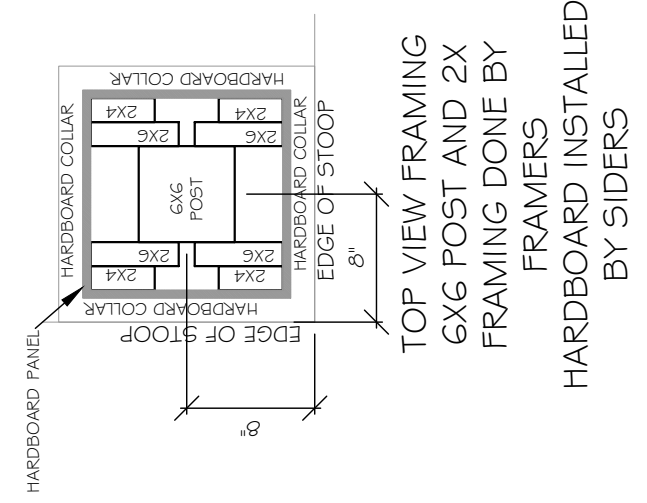
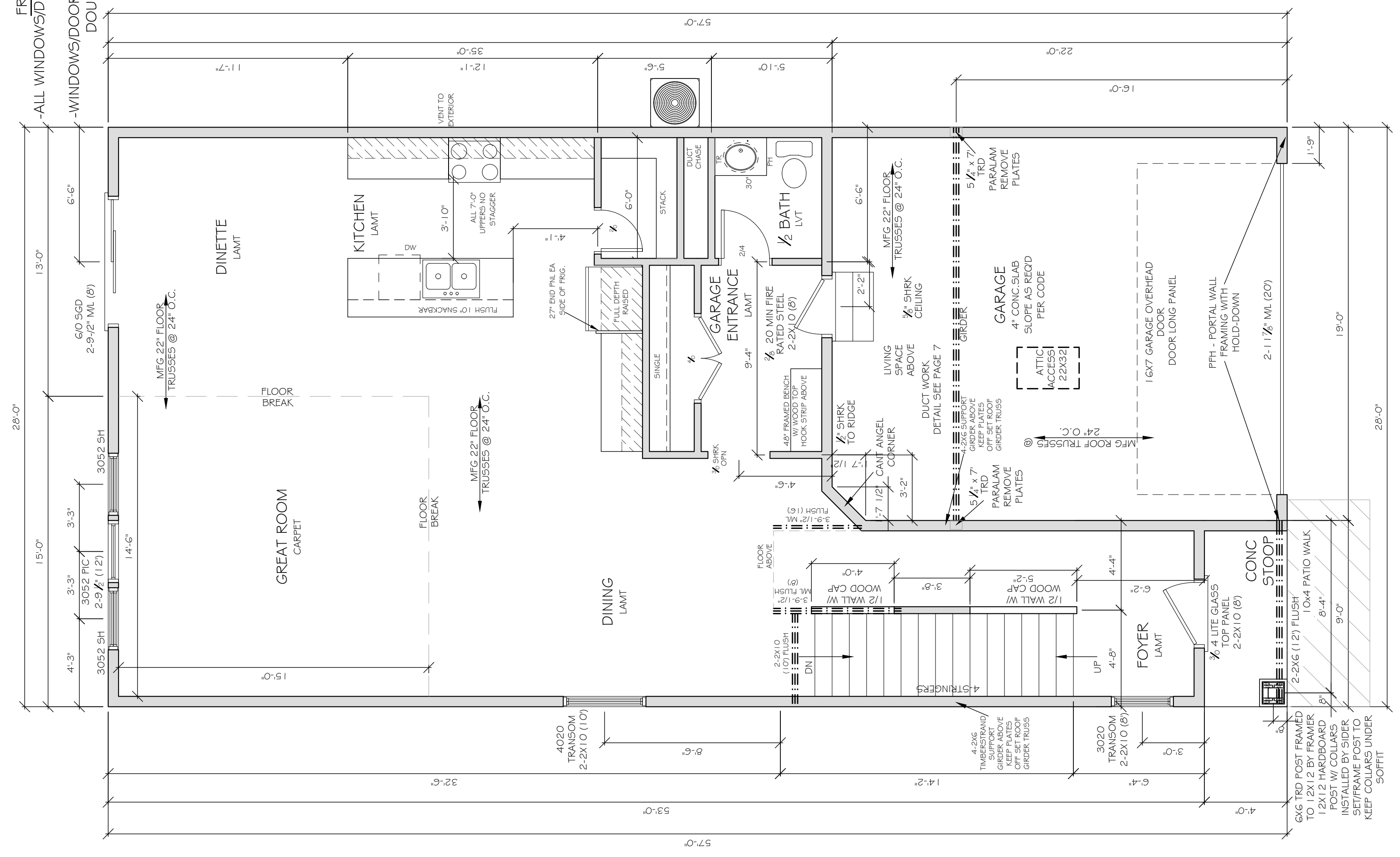
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 Fin Sq Ft: 1143

FRAMER NOTES:  
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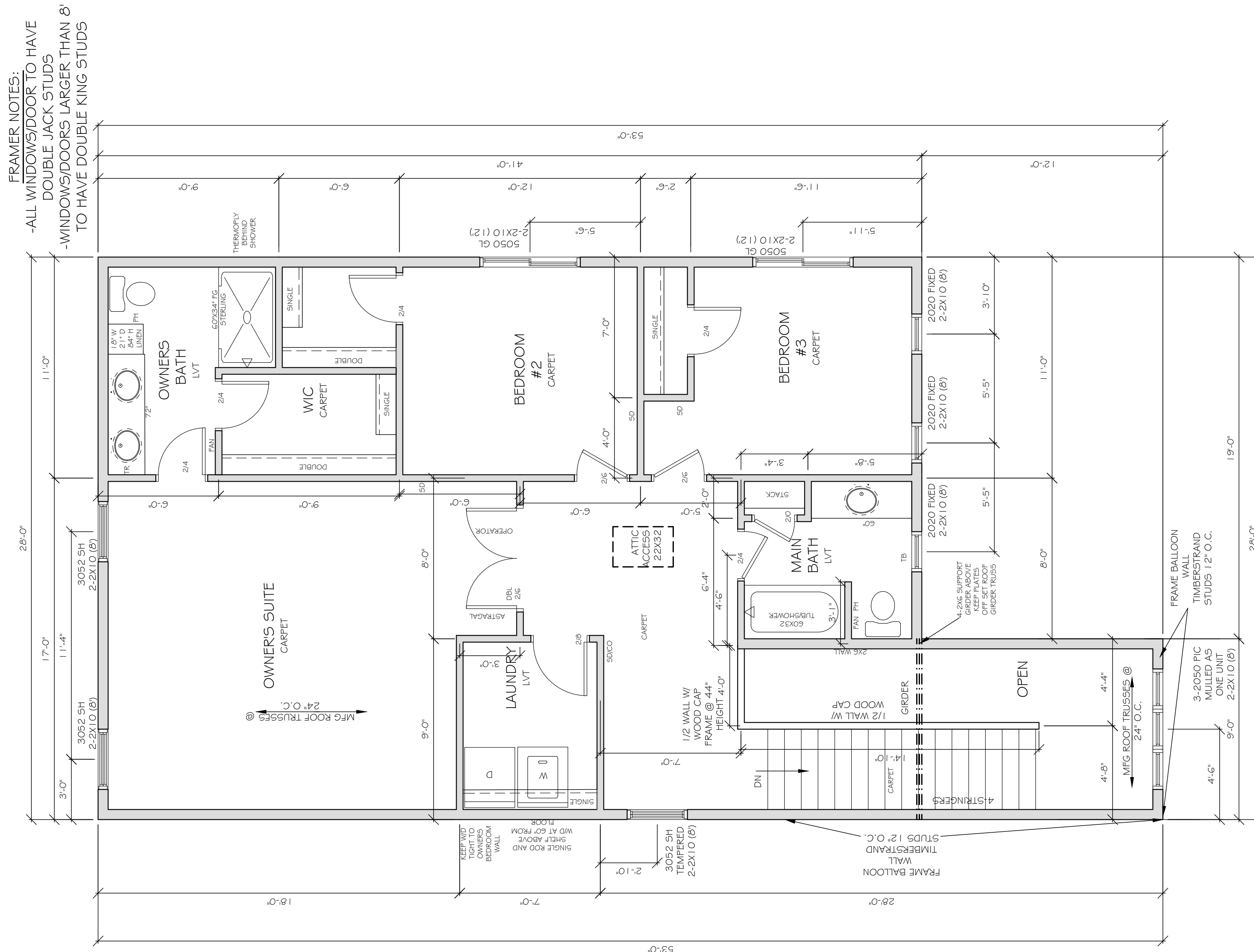
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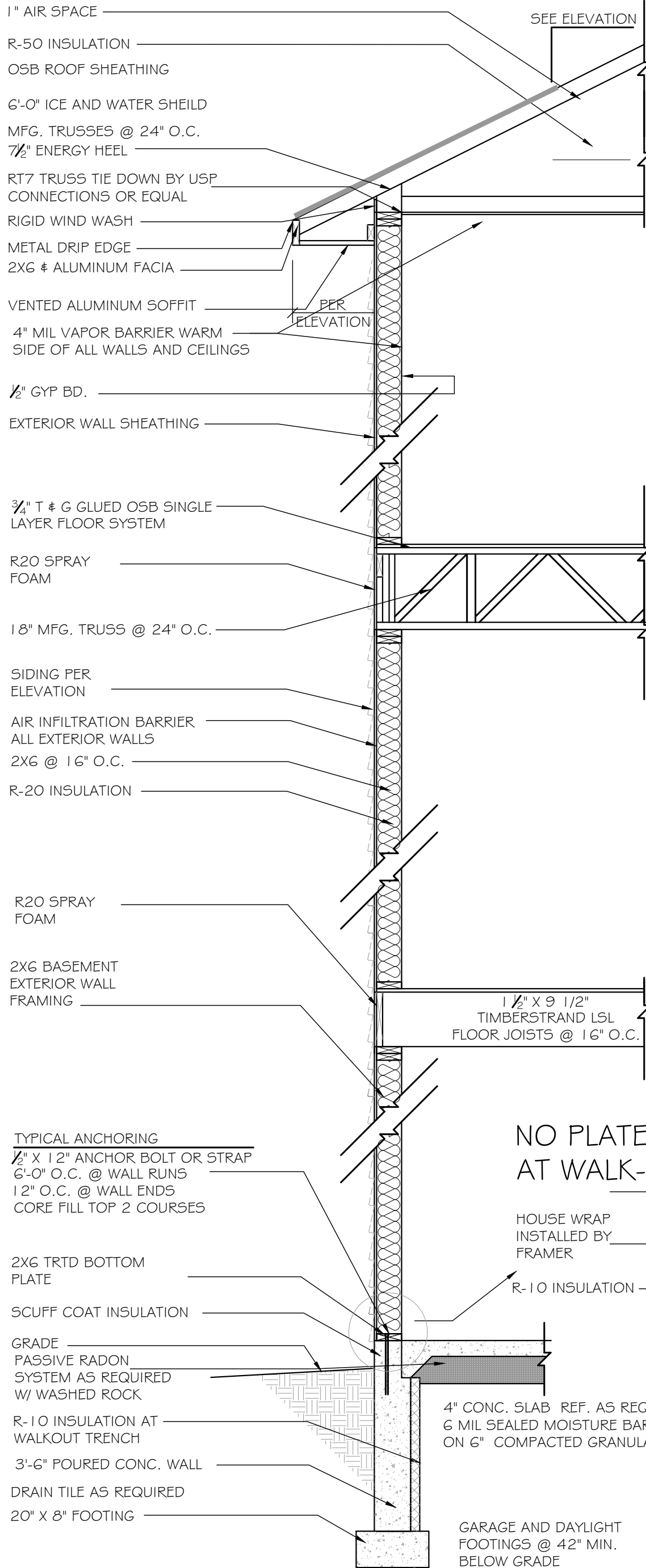
Fin Sq Ft: 1075



FRAMER NOTES:  
-ALL WINDOWS/DOOR TO HAVE DOUBLE JACK STUDS  
-WINDOWS/DOORS LARGER THAN 8' TO HAVE DOUBLE KING STUDS

\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT  $\frac{1}{300}$ TH ROOF  $\frac{1}{2}$  IN SOFFIT  
 $\frac{1}{2}$  IN ROOF NEAR RIDGE  
 FLASH ABOVE ALL EXTERIOR OPENINGS  
 SHINGLES PER ELEVATION/SPECS.  
 15# FELT  
 $\frac{1}{2}$ " ROOF SHEATHING  
 RIDGE # BOX ROOF VENTS



RADON VENT PIPE TERMINATED AT LEAST 12" ABOVE SURFACE OF ROOF

MINIMUM 3" ABS OR PVC OR EQUIVALENT GAS TIGHT PIPE  
 4" PIPE MAY BE MORE EFFECTIVE, BUT NOT REQUIRED

SPACE PROVIDED FOR INSTALLATION OF A FAN  
 - MINIMUM 24" DIAMETER CENTERED ON THE AXIS OF THE VENT STACK  
 - MINIMUM VERTICAL DISTANCE OF 3 FEET

NO PLATE OVERHANG AT WALK-OUT ONLY

HOUSE WRAP INSTALLED BY FRAMER

R-10 INSULATION

4" CONC. SLAB REF. AS REQ. ON 6 MIL SEALED MOISTURE BARRIER ON 6" COMPACTED GRANULAR FILL

GARAGE AND DAYLIGHT FOOTINGS @ 42" MIN. BELOW GRADE

WALKOUT

ALL STRUCTURAL LUMBER  
 2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER  
 ALL 2X4 AND 2X6 STUDS WILL BE WESTERN WHITES NO. 2 OR BETTER

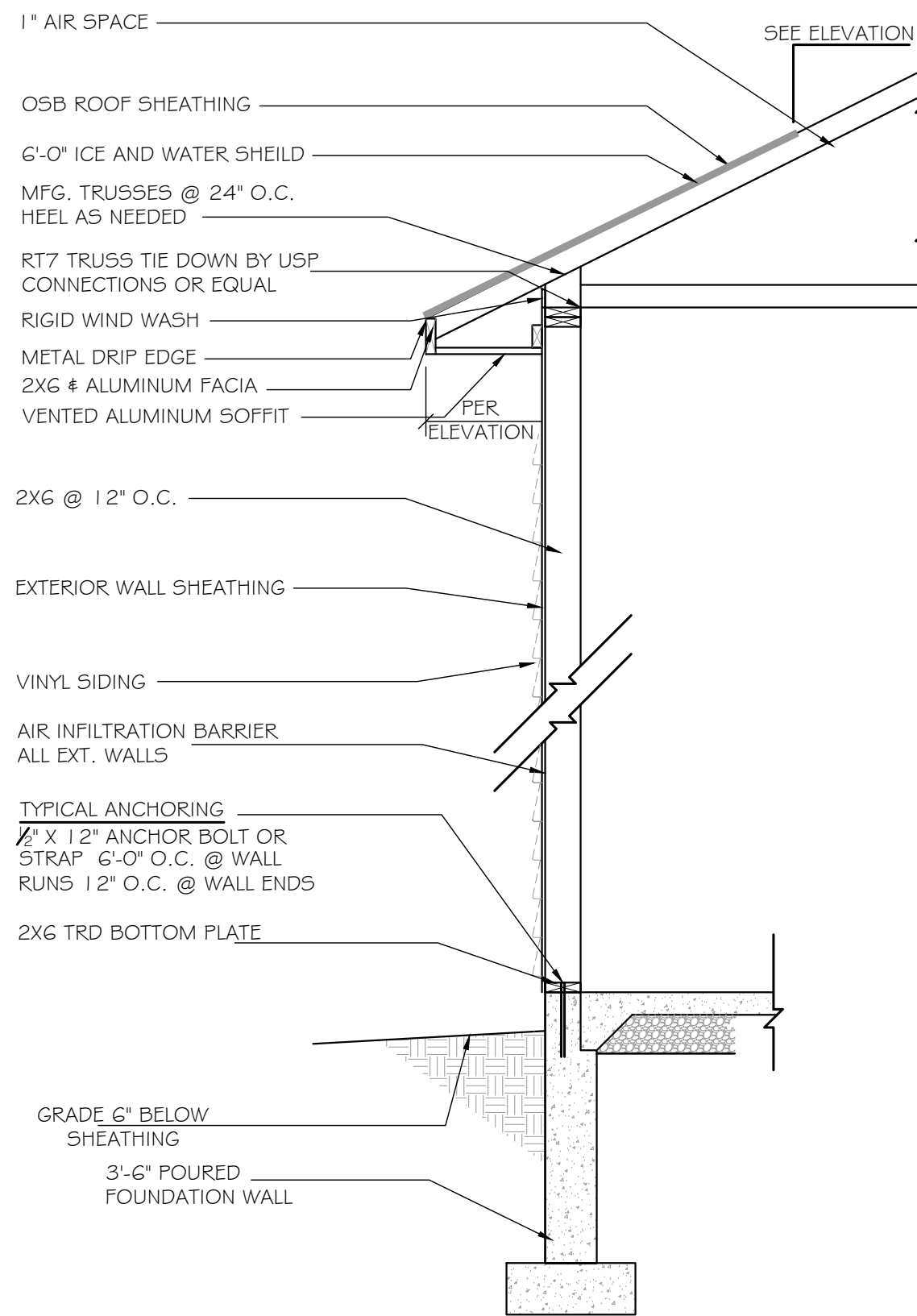
WINDOWS ARE MAXIMUM OF .30 U-VALUE WITH MAXIMUM SHGC .29  
 WINDOW FALL PROTECTION PER R312.2.1 AND R312.2.2  
 PATIO DOORS .30U AND .26 SHGC  
 ALL STEEL DOORS .19U

\*\*NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE DIRECTED TO BRET JUENKE #651-463-9333

\*\*NOTE: APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB

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 FLASH ABOVE ALL EXTERIOR OPENINGS  
 SHINGLES PER ELEVATION/SPECS.  
 15# FELT  
 $\frac{1}{2}$ " ROOF SHEATHING



EXTERIOR GARAGE WALL

FIELDSTONE FAMILY HOMES INC.

75% OF THE BULBS IN PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS REQUIREMENT APPLIES TO INDOOR AND OUTDOOR FIXTURES, INCLUDING ACCESSORY STRUCTURES AND GARAGES. HIGH EFFICACY BULBS ARE: 60 LUMENS/W FOR LAMPS OVER 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

R 404.1 LIGHTING EQUIPMENT  
 A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.

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Homeowner Signature

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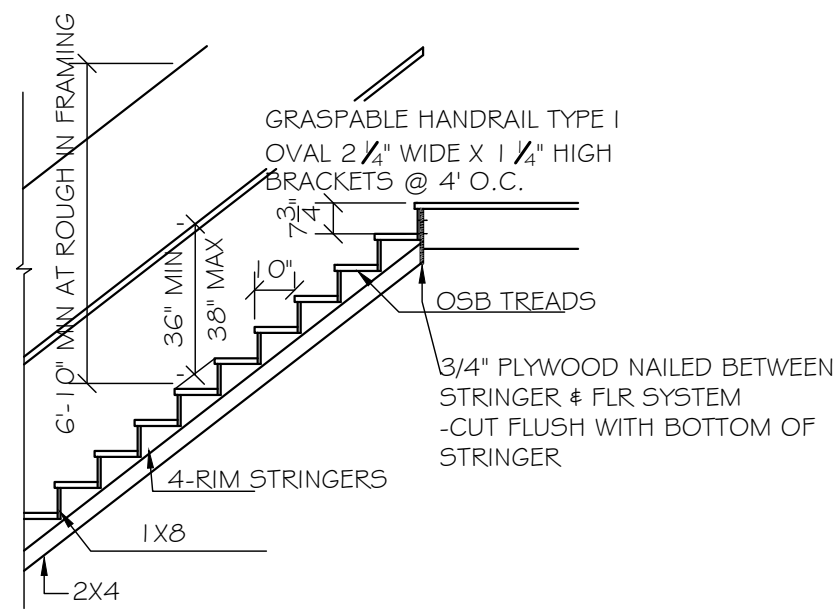
Scale: 1/4" = 1'-0"

Fin Sq Ft:

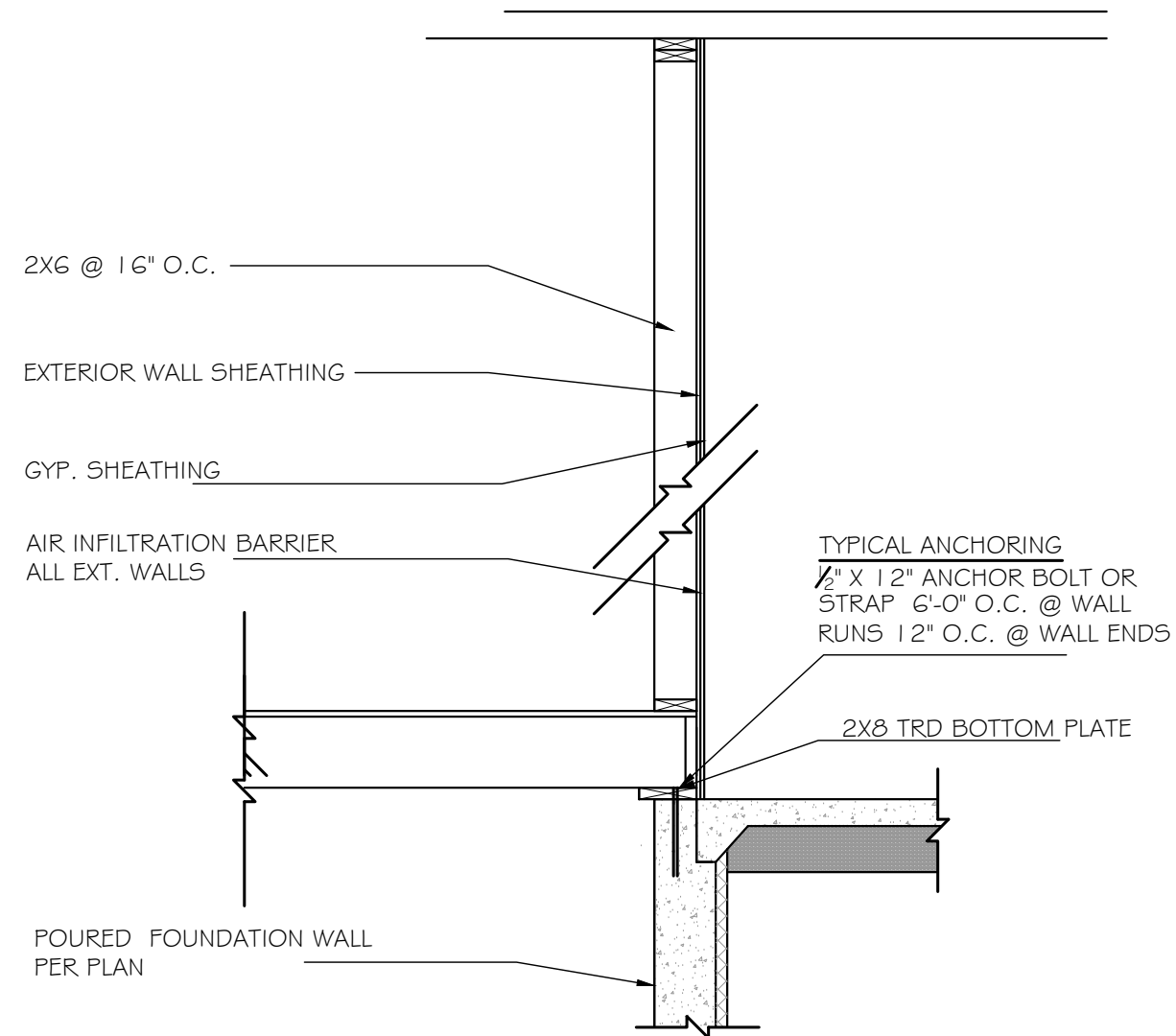
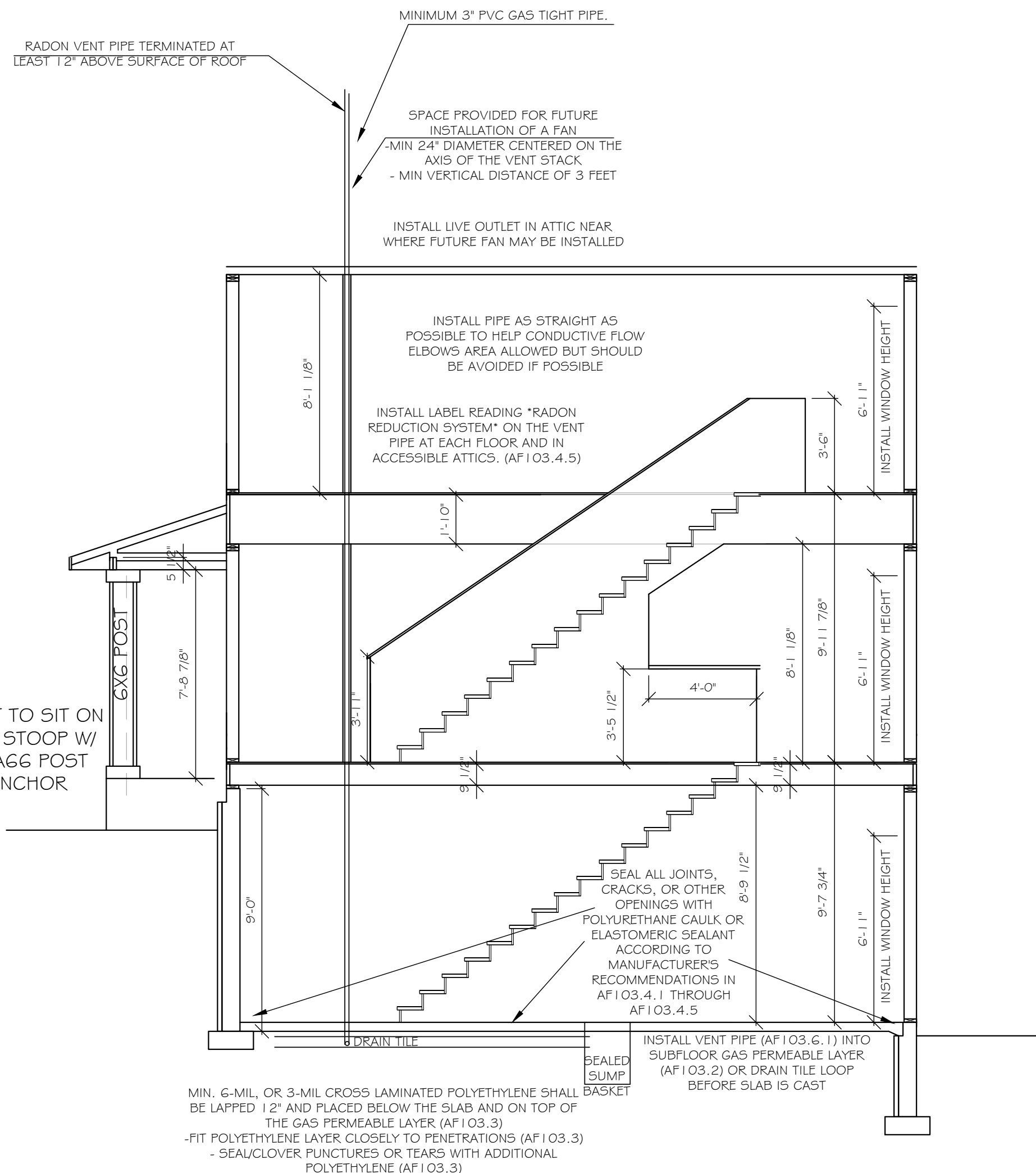
DETAILS

6

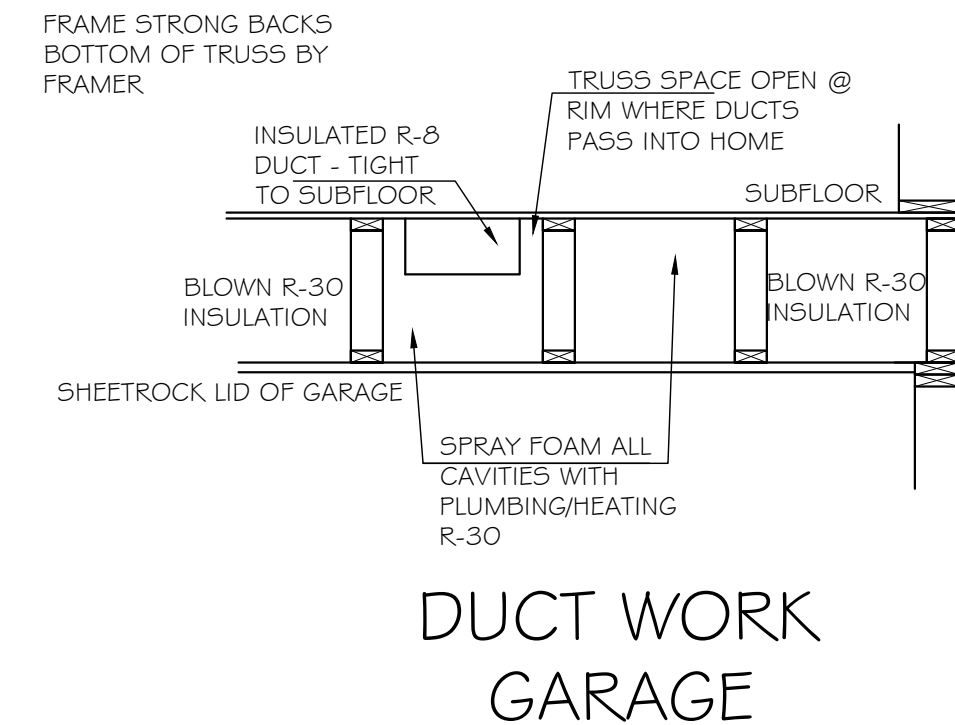
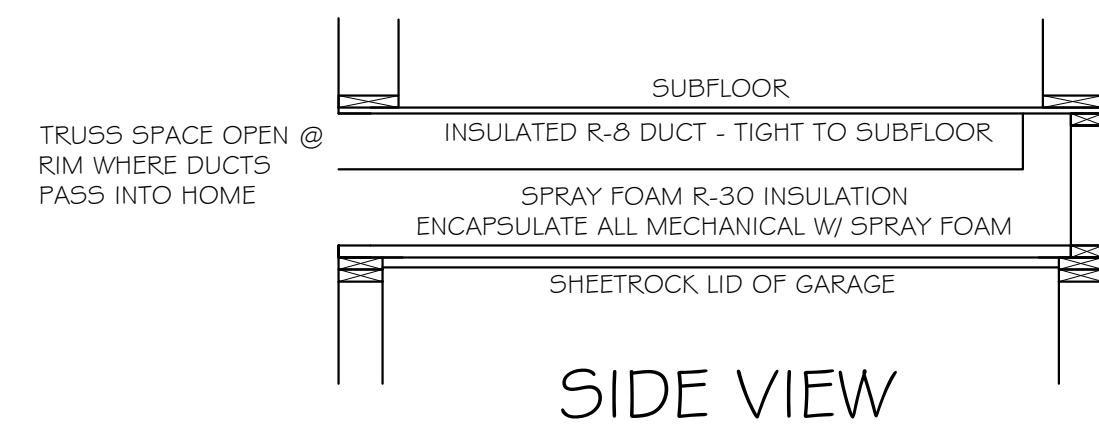
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# INTERIOR STAIR DETAIL



# GARAGE COMMON WALL



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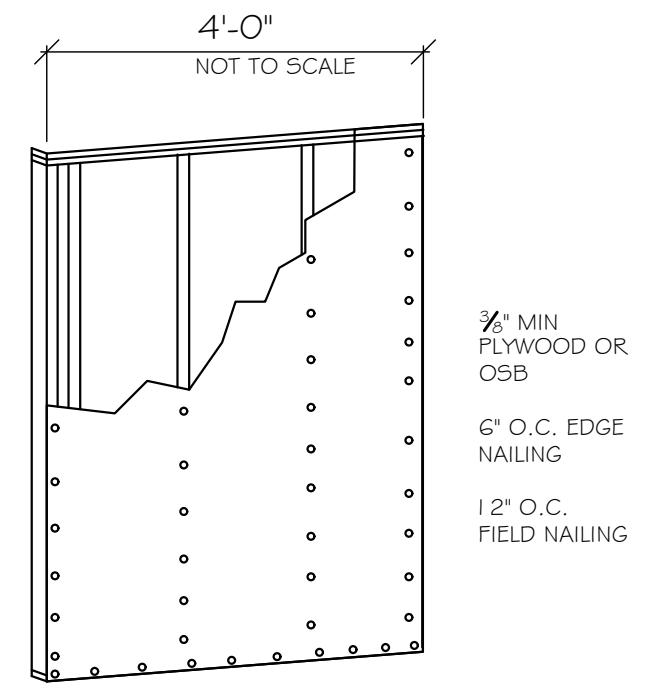
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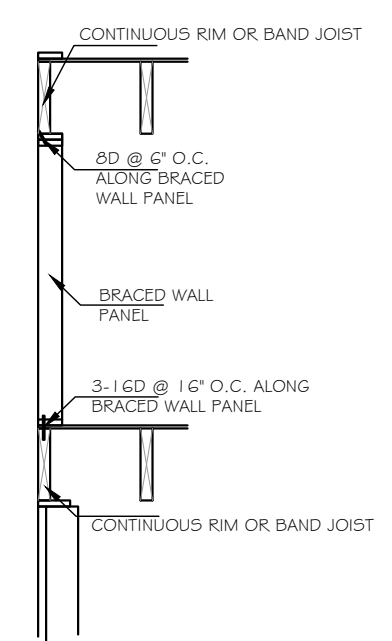
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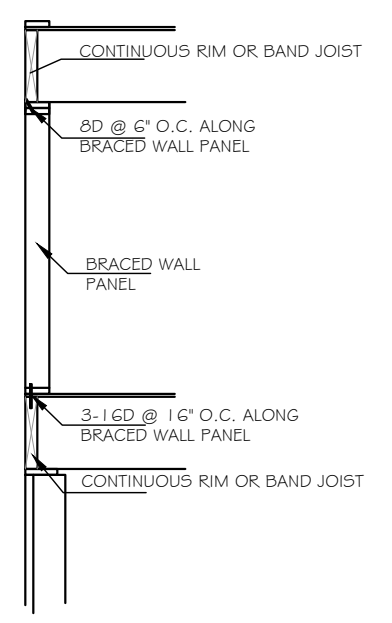
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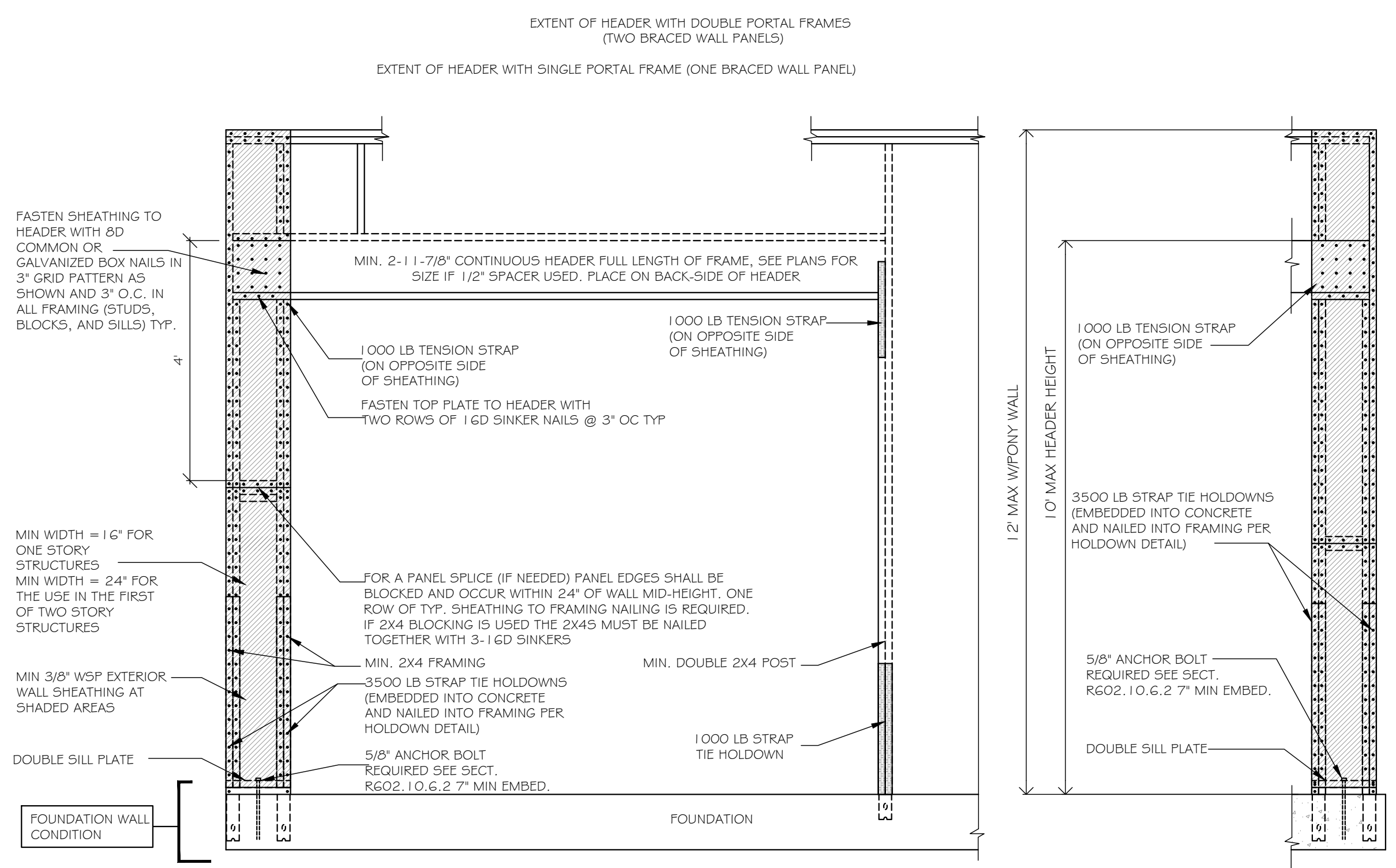
BRACE WALL PANELS: CS WSP NOT TO SCALE



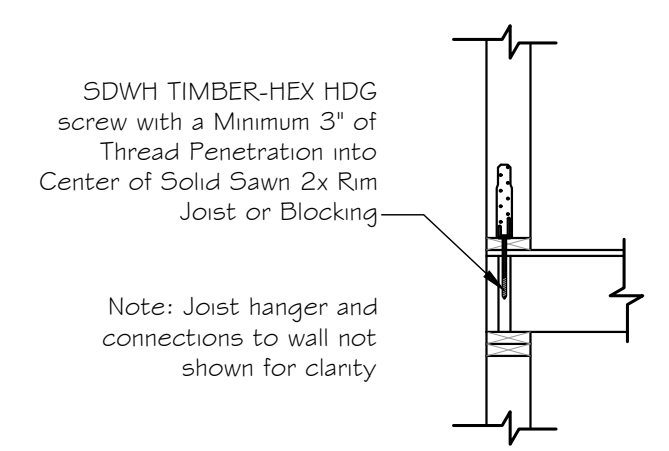
PARALLEL FRAMING



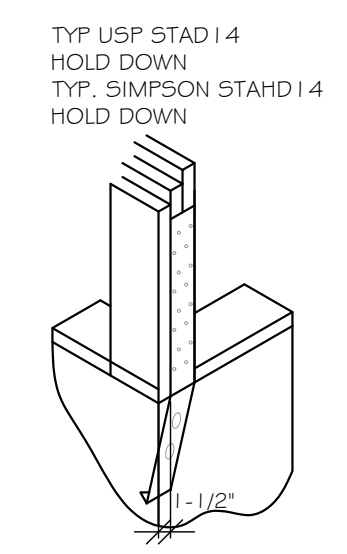
PERPENDICULAR FRAMING  
 — = BRACED WALL PANEL



PFH - PORTAL WALL FRAMING WITH HOLD-DOWN



DTT I Z HOLD DOWN FOR WIND BRACING



HOLD DOWN DETAIL

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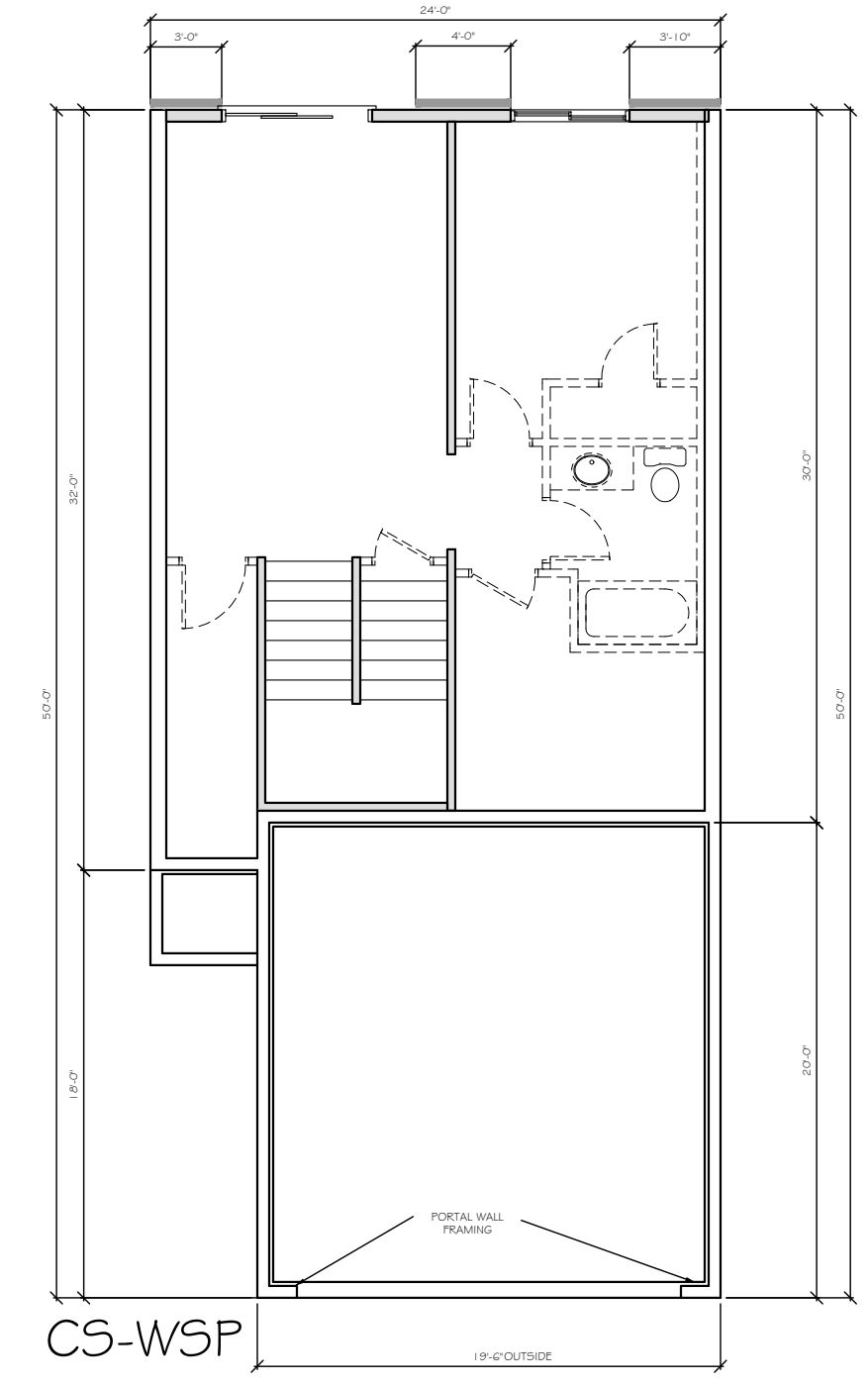
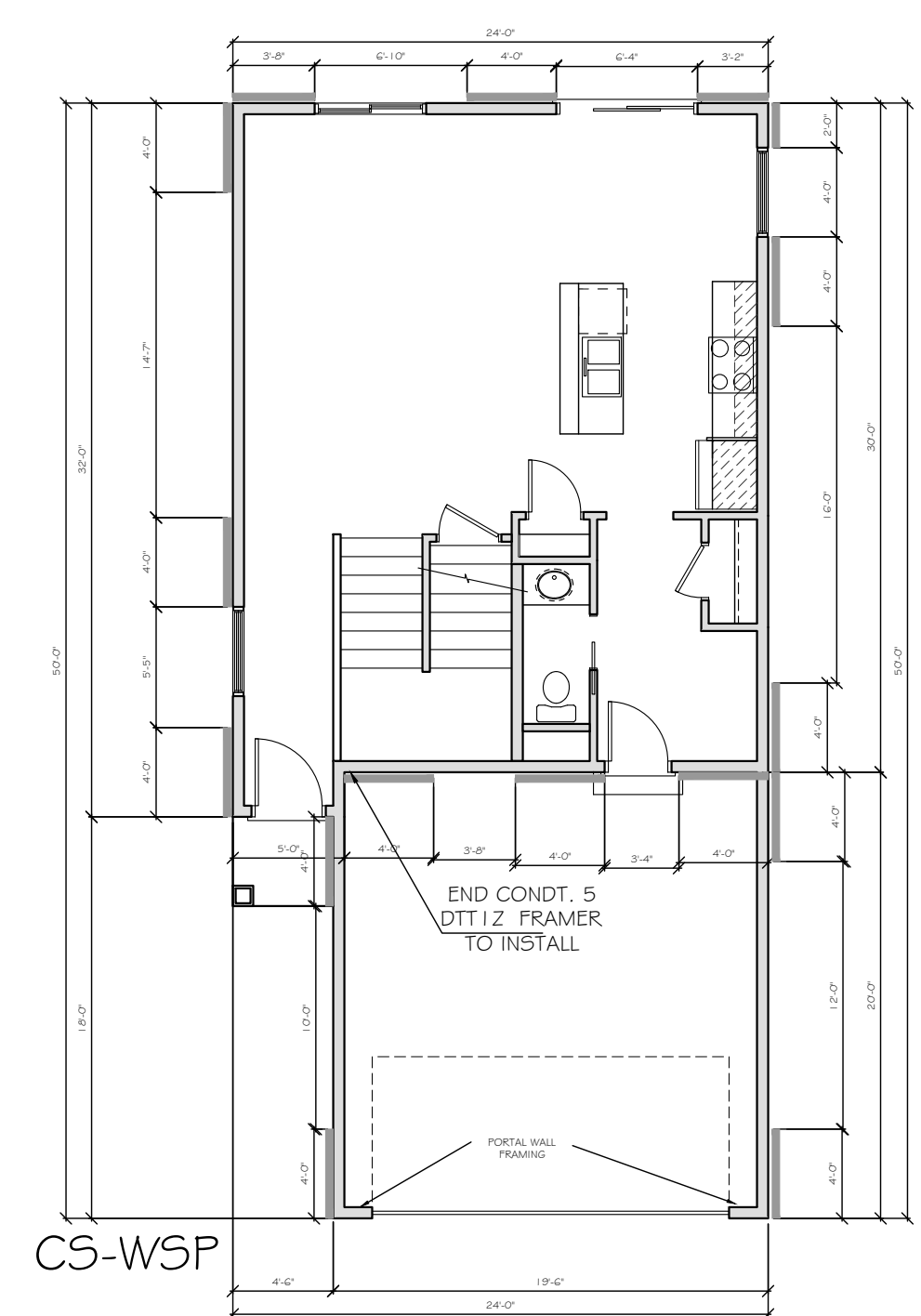
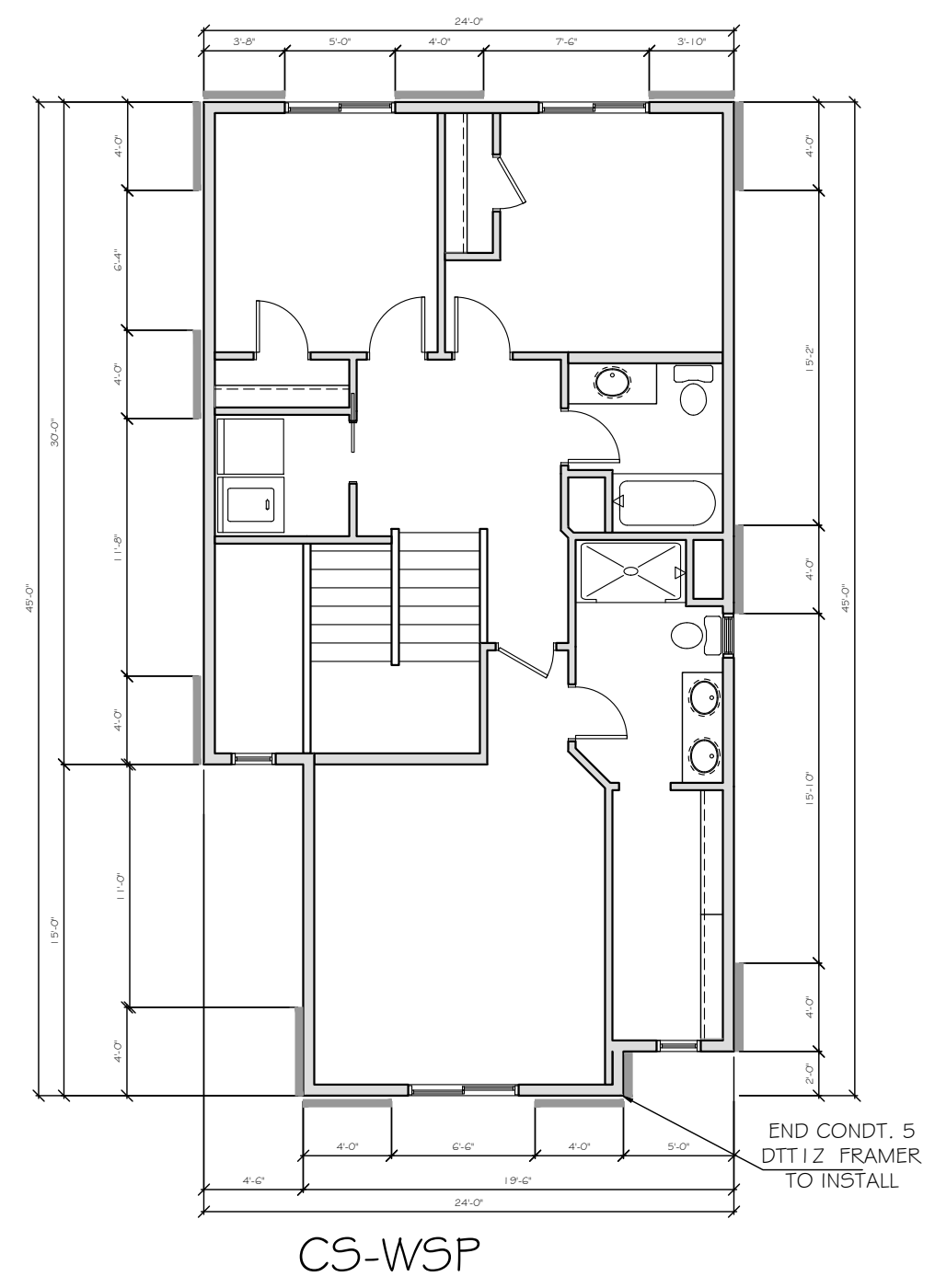
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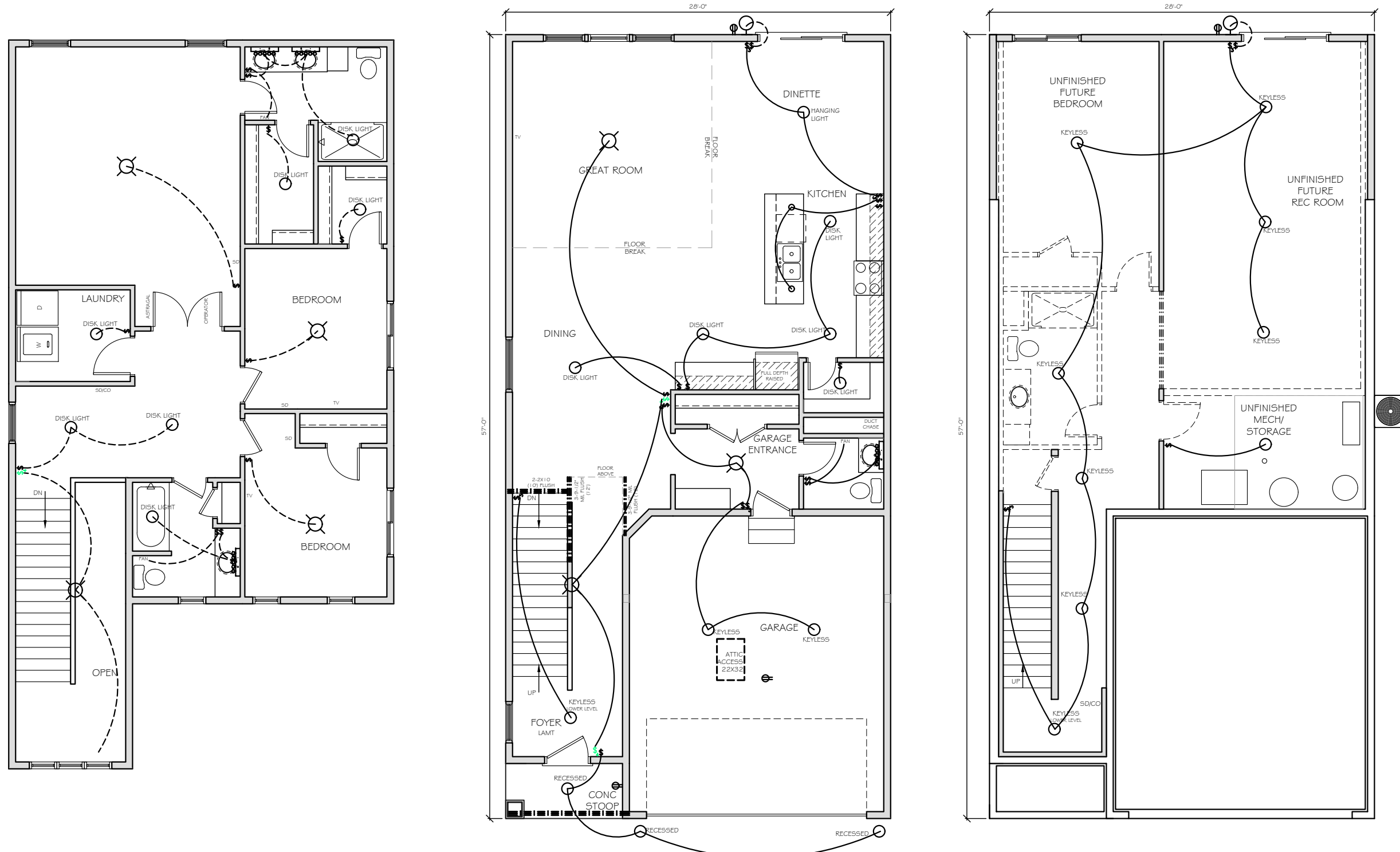
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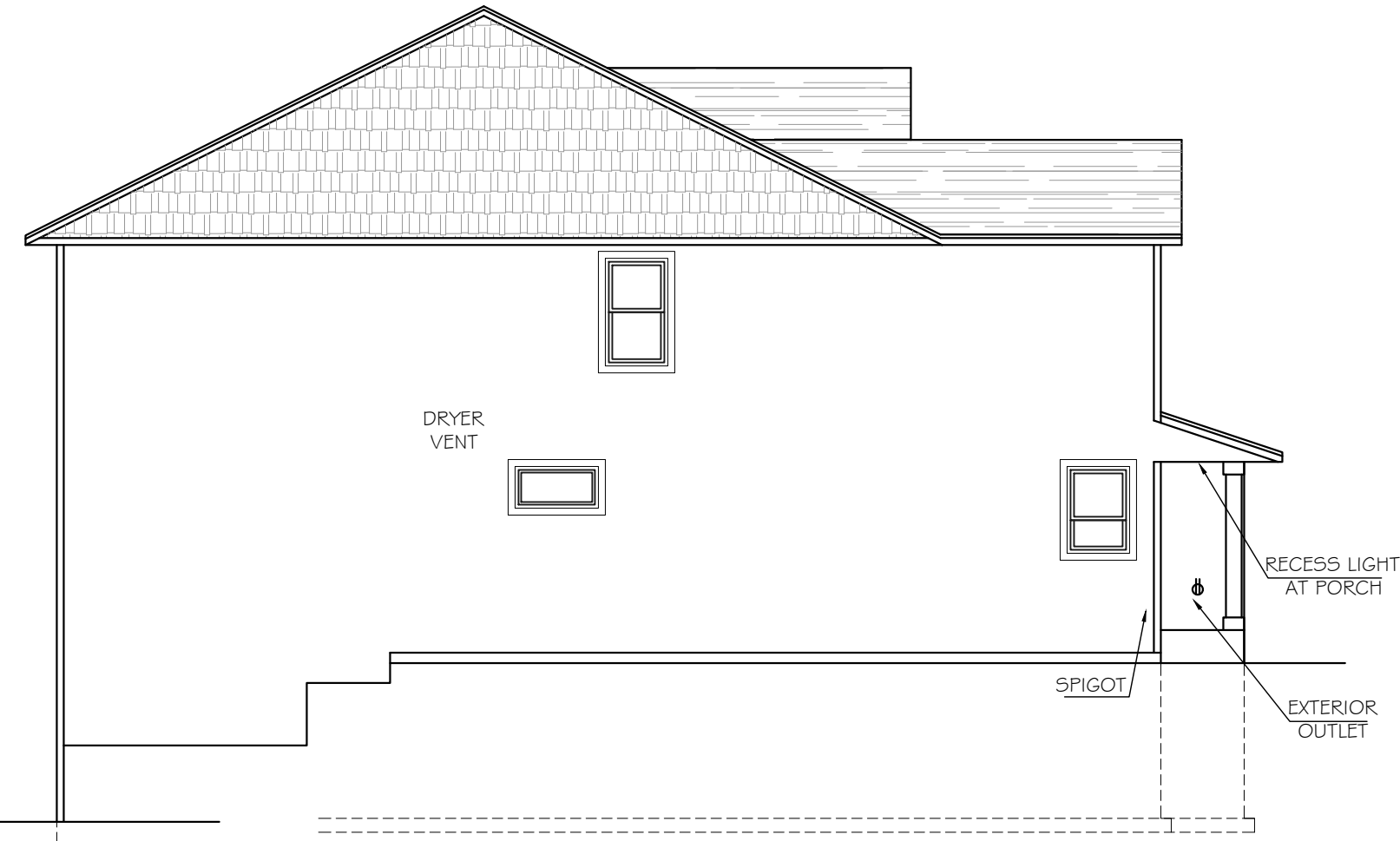
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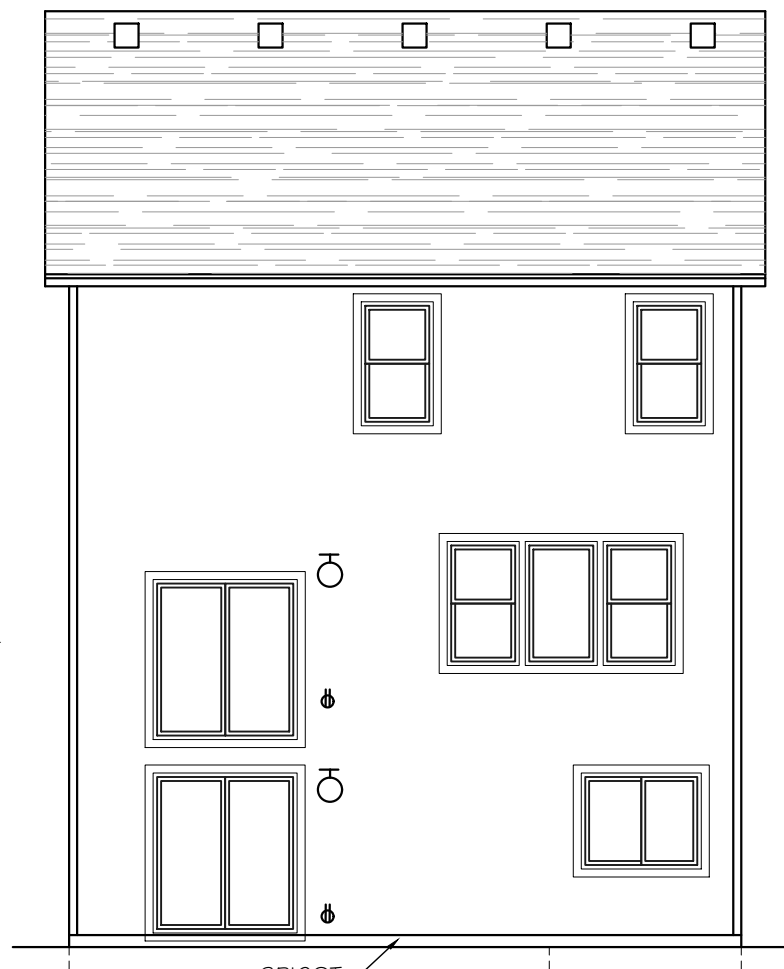
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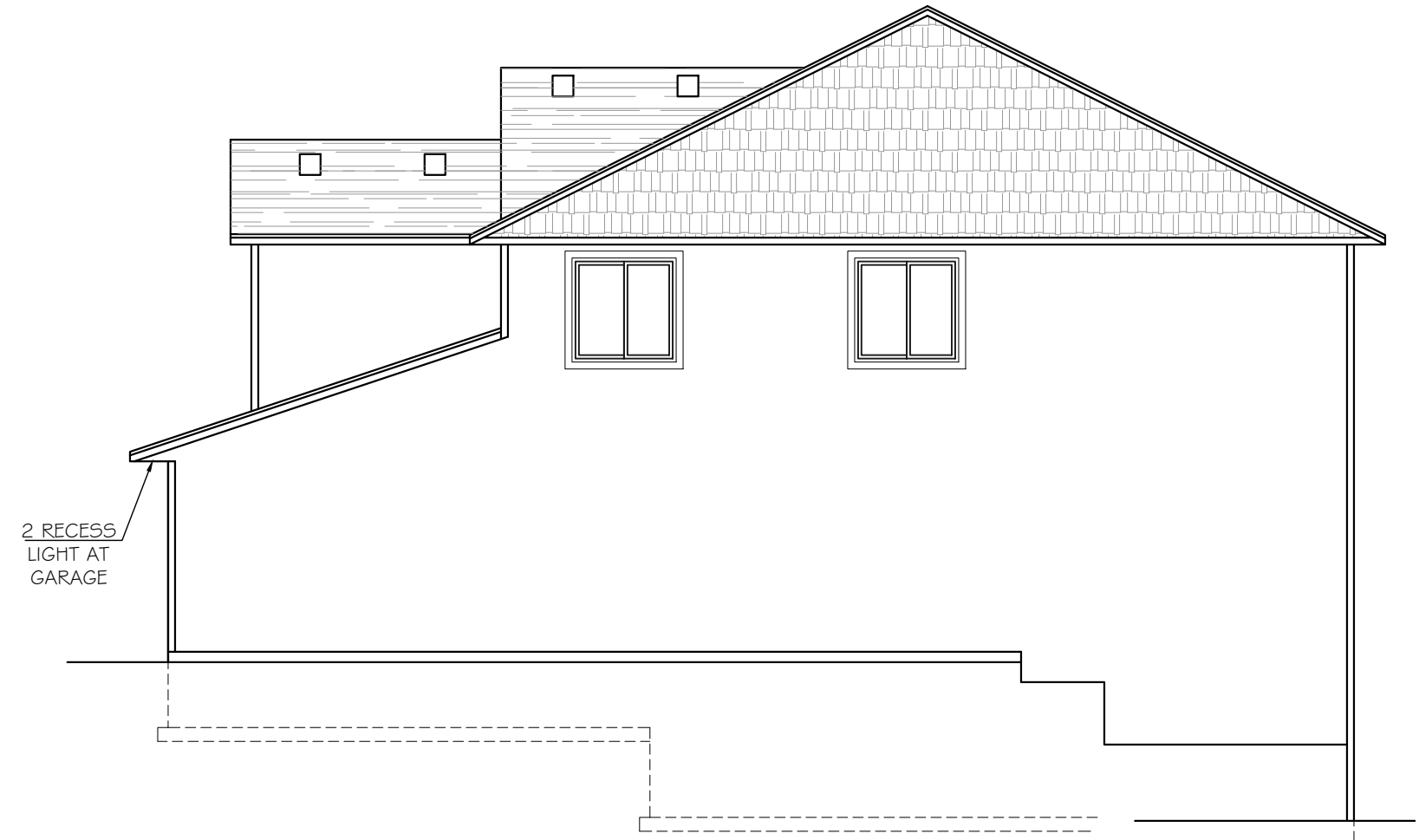
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