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MN LIC: BCG31164
WI LIC: DC-070800080

CLIENT:
Project:

LOCATION:
LOT _ BLK_ DEVELOPMENT
Street
CITY MN ZIP
JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	7.10.24

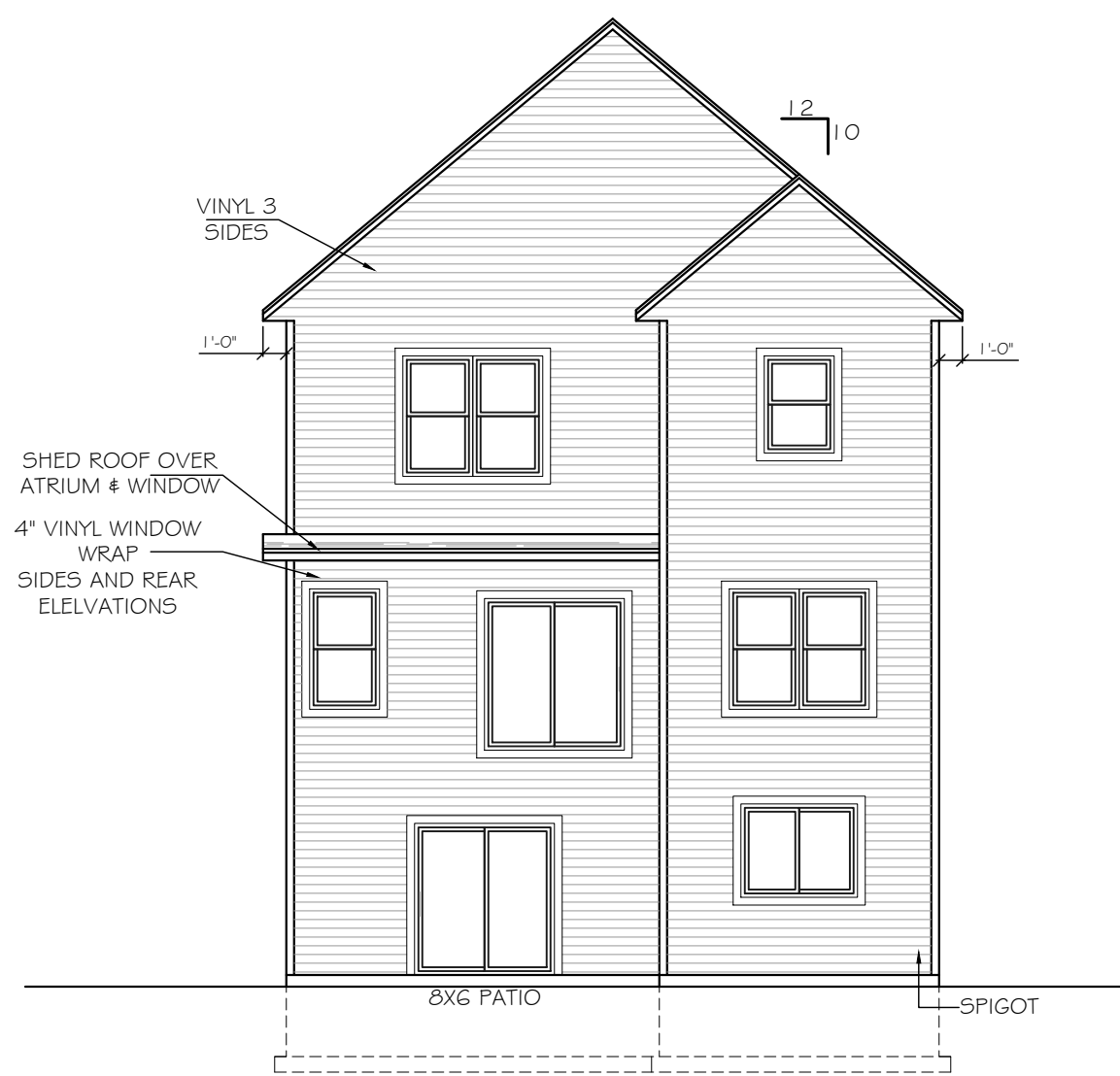
All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

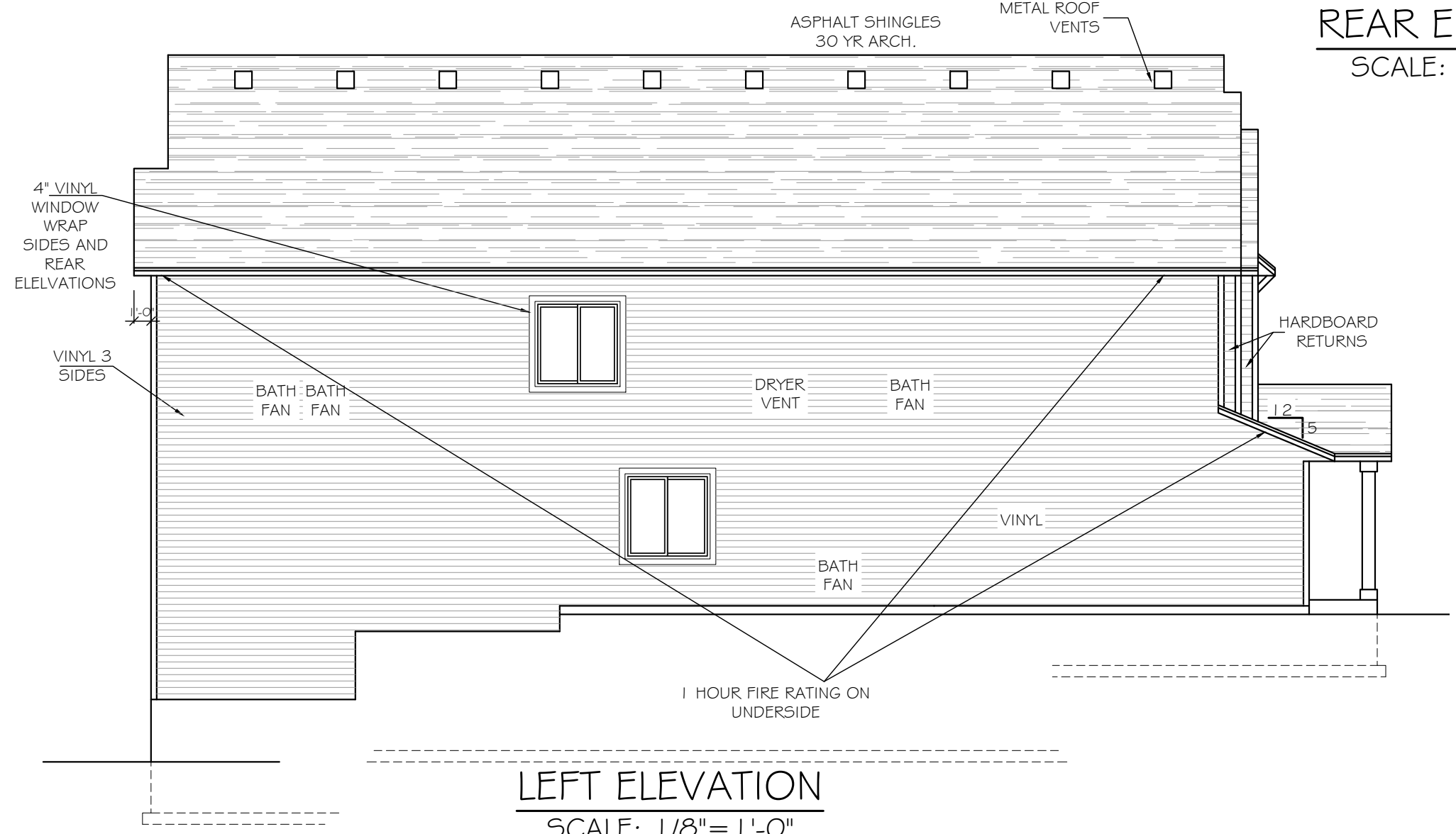
Agent:
Plan: THE GRAND
Total Foundation: 1907
House Foundation: 1324
Finished: 3133
Unfinished: 1268

Scale: 1/8" = 1'-0"

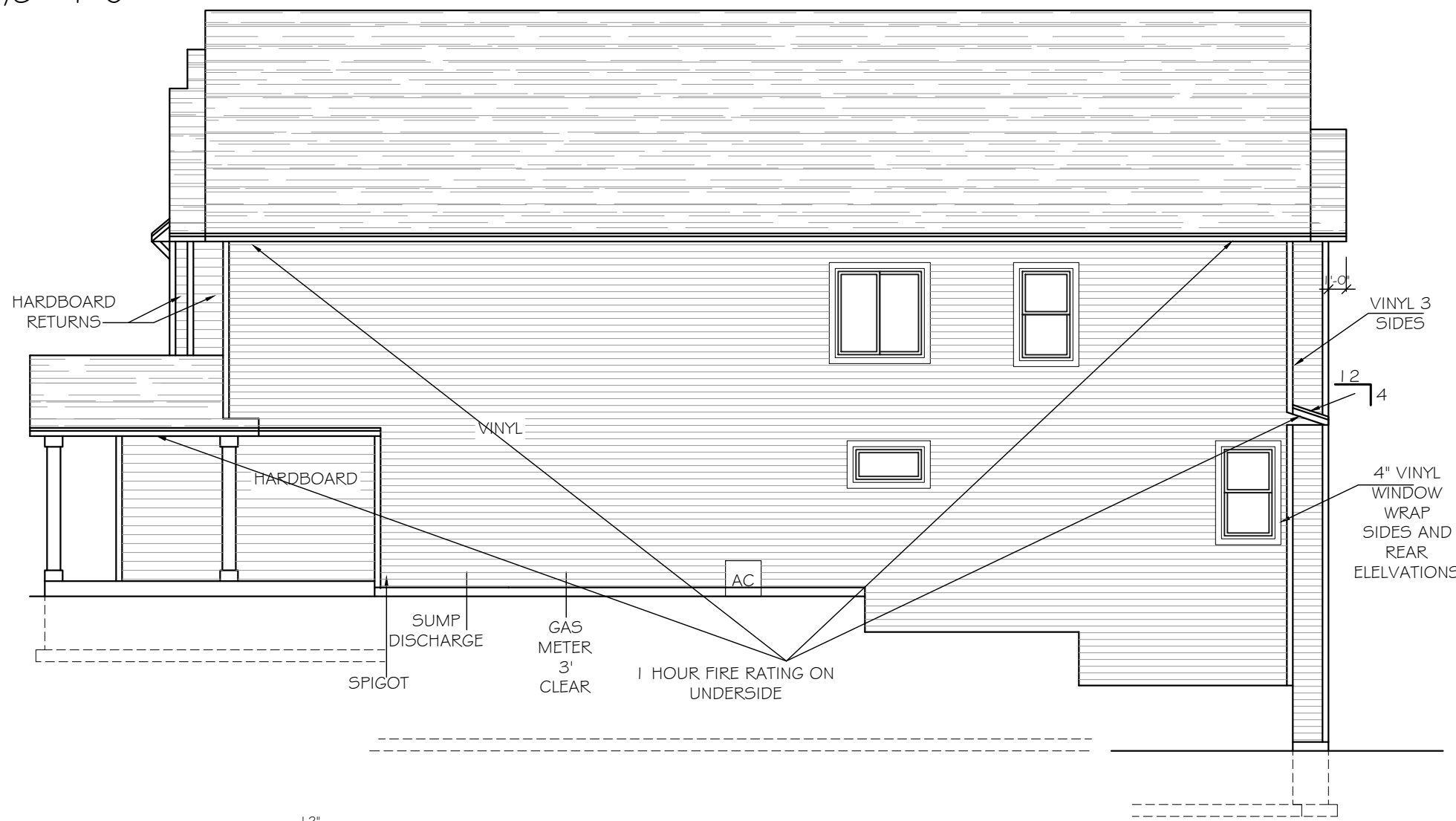
Fin Sq Ft: 3133



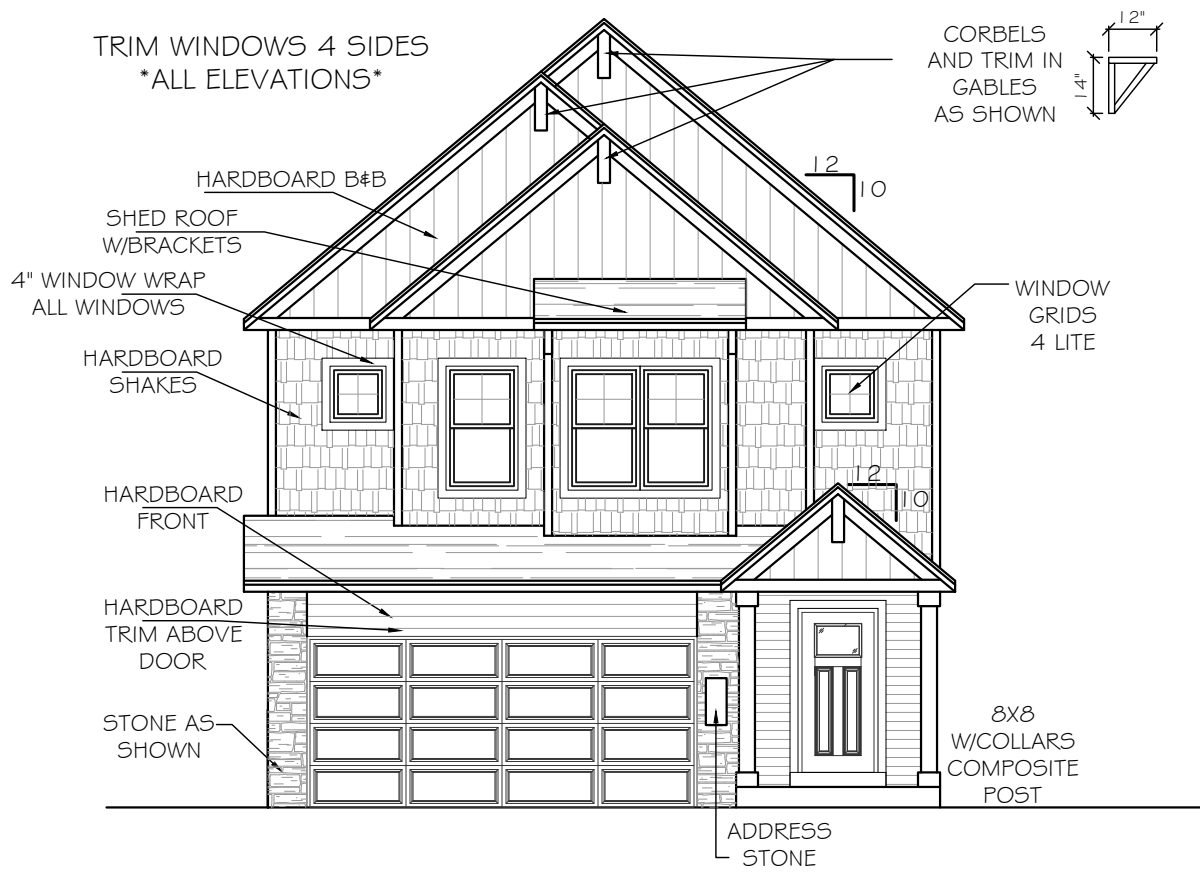
REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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MN LIC: BC63 1164
WI LIC: DC-070800080

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REVISION 6

REVISION 7

REVISION 8

REVISION 9

REVISION 10

REVISION 11

FINAL 7.10.24

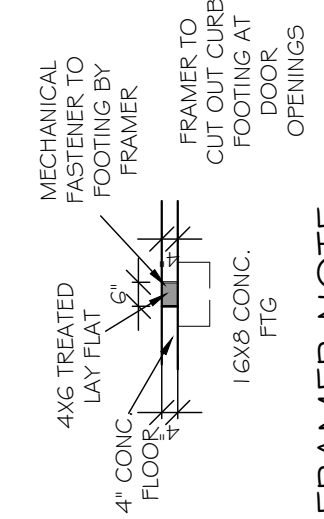
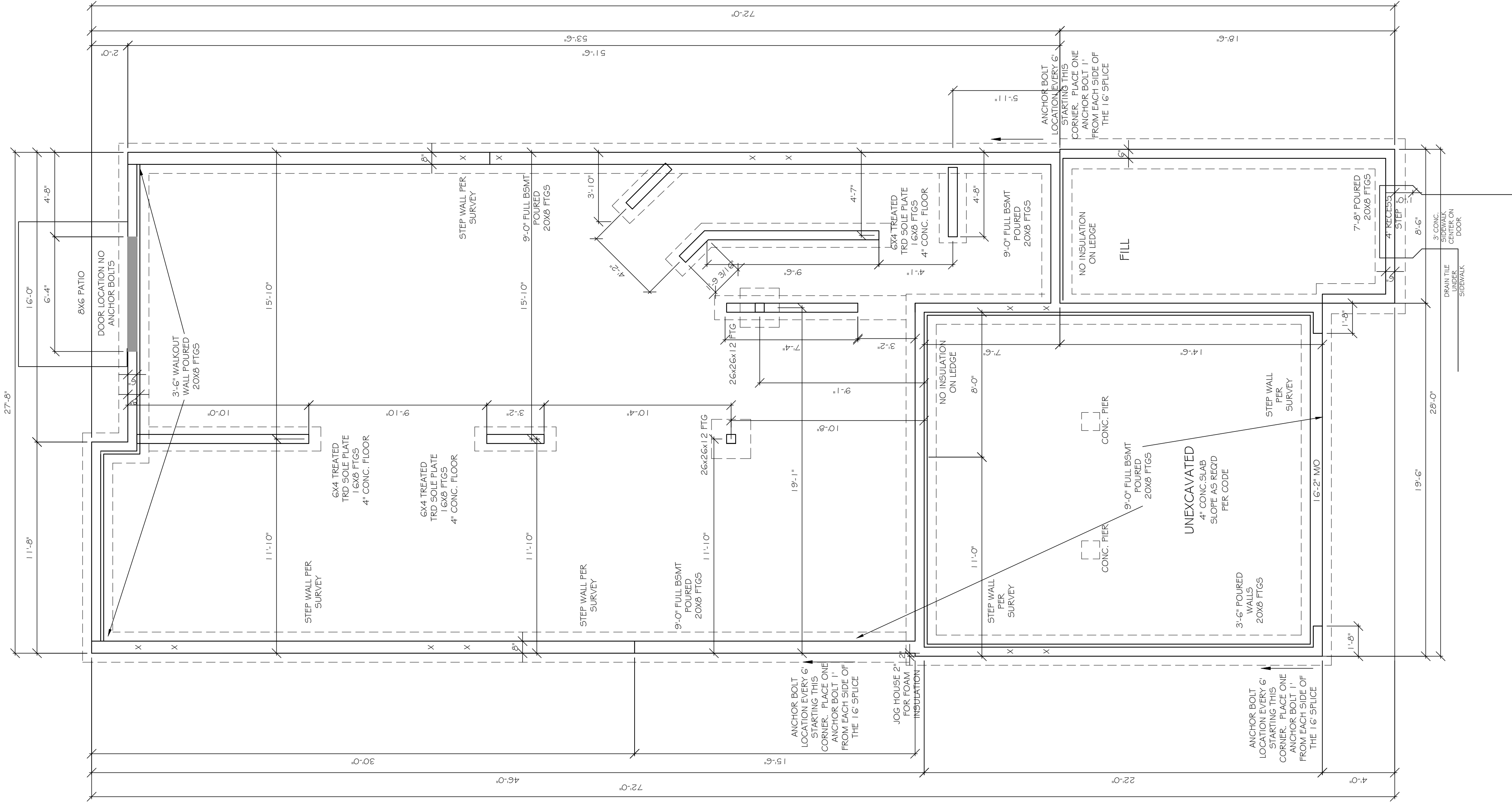
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Homeowner
Signature

Agent:
Plan: THE GRAND
Total Foundation: 1907
House Foundation: 1324
Finished: 3133
Unfinished: 1268

Scale: 1/4" = 1'-0"

Fin Sq Ft:



FRAMER NOTE:
INTERIOR
CURB DETAIL FOR 2X6
BEARING WALL

*ANCHOR BOLTS
PLACED ACCORDING
TO IRC SECTION 404-
R.404.1 (3)
TABLE R404.1(1)
DOUBLES AT 16'
ANCHOR BOLTS 1 3/4"
INSIDE FROM WALLS
WITH NO FOAM

ANCHOR BOLTS
CENTER ON WALL WITH
FOAM
ANCHOR BOLTS 1 3/4"
INSIDE FROM WALLS
WITH NO FOAM

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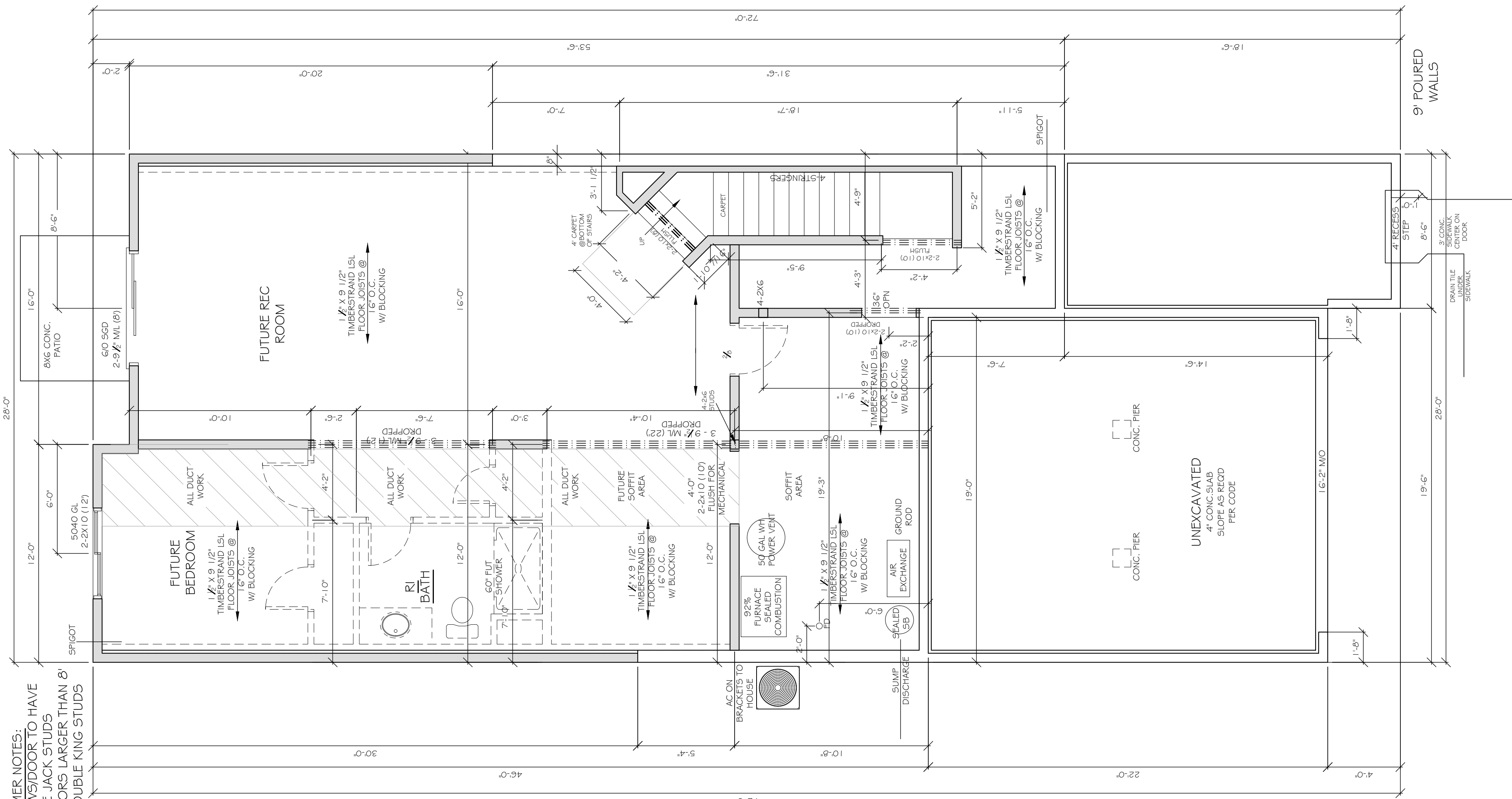
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Homeowner Signature

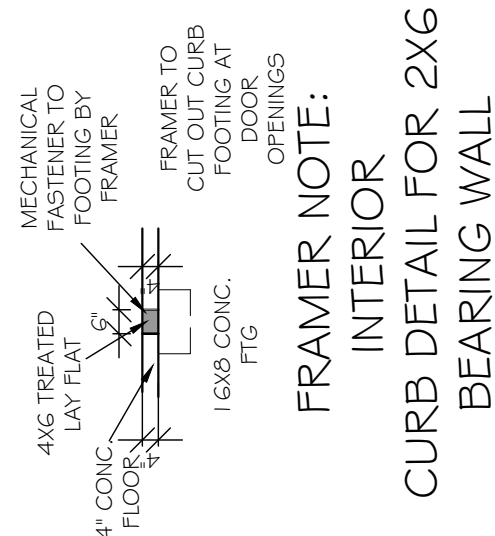
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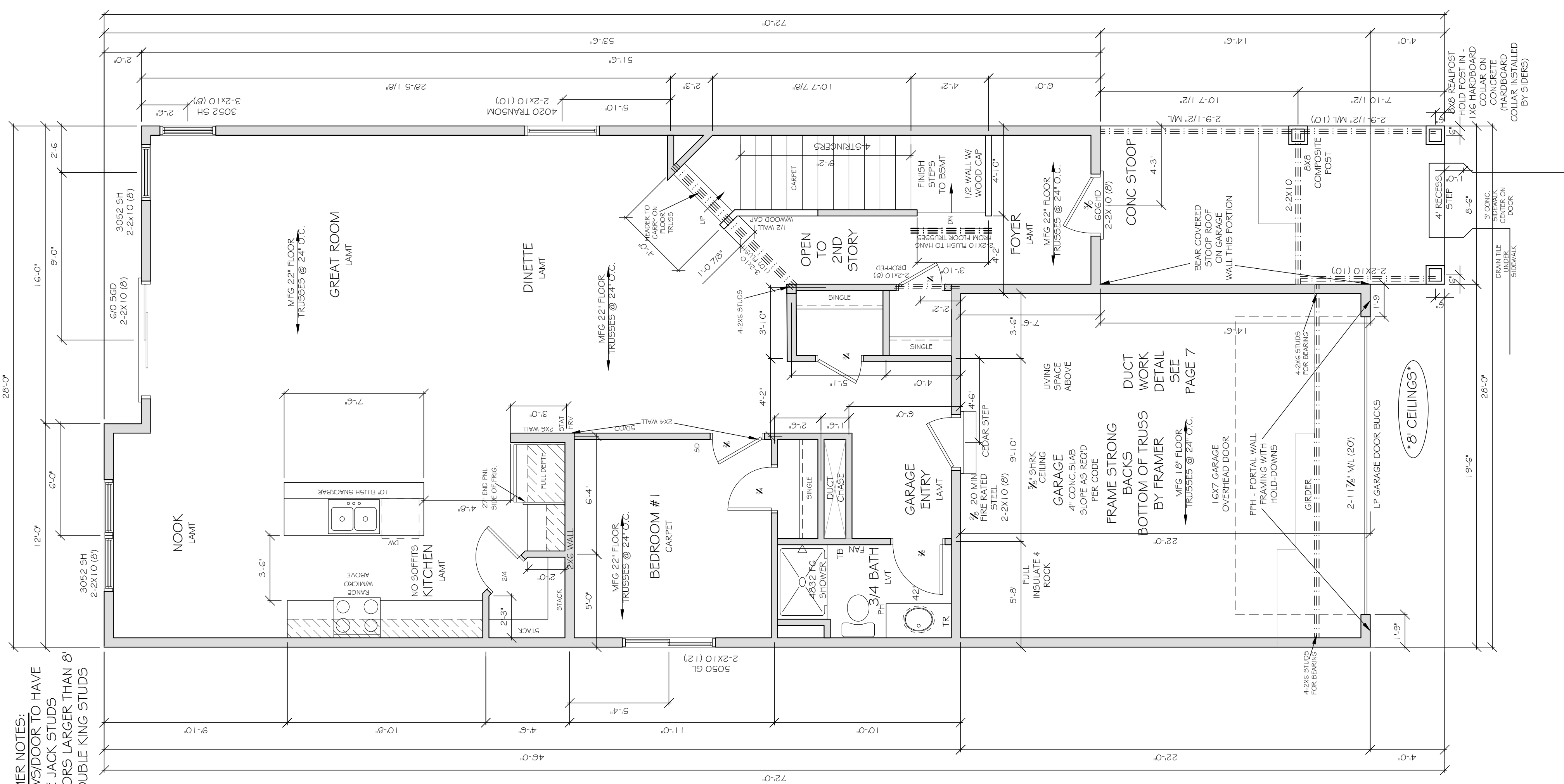
Fin Sq Ft: 57



FRAMER NOTES:
 -ALL WINDOWS/DOOR TO HAVE DOUBLE JACK STUDS
 -WINDOWS/DOORS LARGER THAN 8' TO HAVE DOUBLE KING STUDS



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FRAMER NOTES:
 -ALL WINDOWS/DOOR TO HAVE DOUBLE JACK STUDS
 -WINDOWS/DOORS LARGER THAN 8' TO HAVE DOUBLE KING STUDS

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Scale: 1/4" = 1'-0"

Fin Sq Ft: 1324

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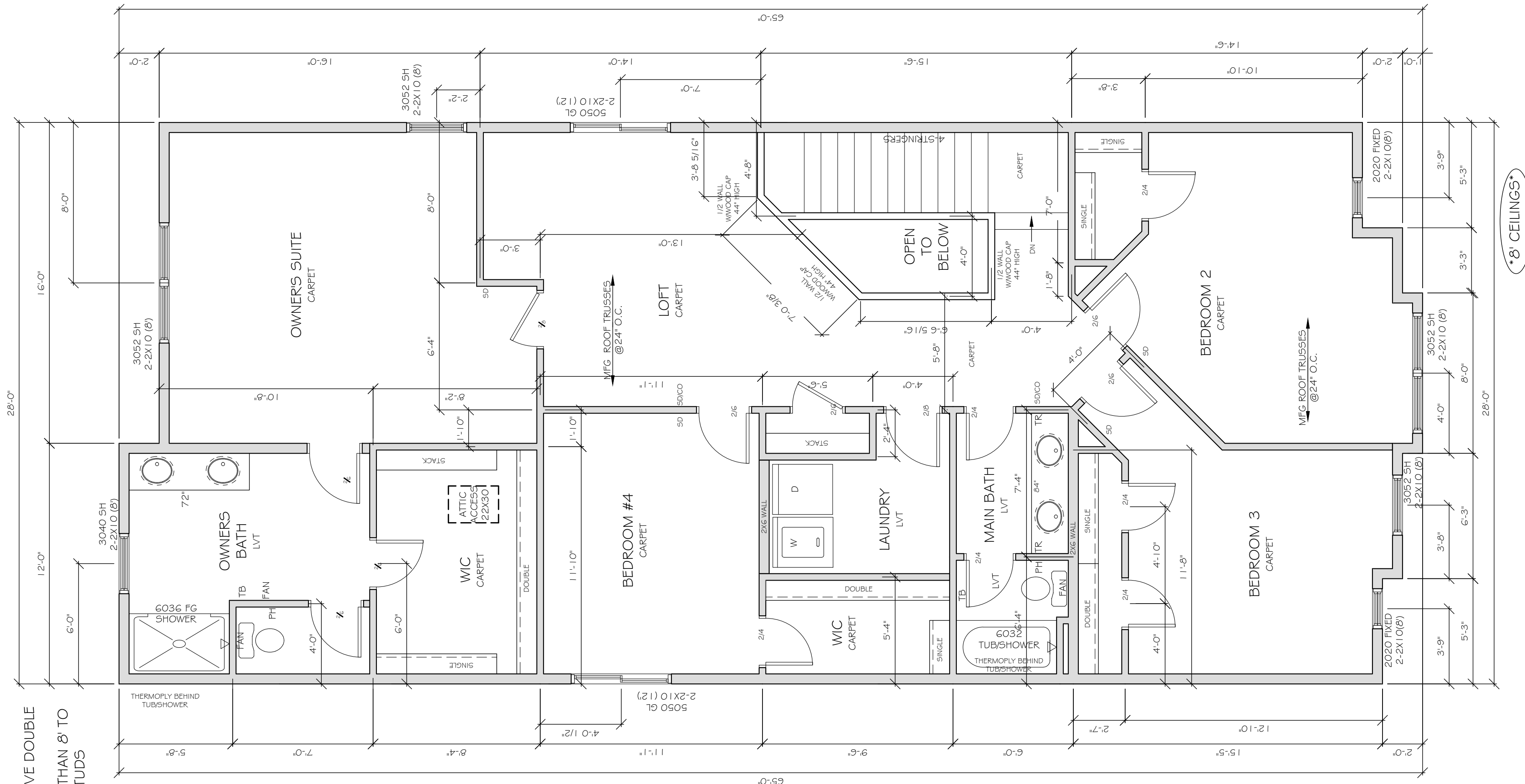
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Homeowner
Signature

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Scale: 1/4" = 1'-0"

Fin Sq Ft: 1752



FRAMER NOTES:
-ALL WINDOWS/DOOR TO HAVE DOUBLE JACK STUDS
-WINDOWS/DOORS LARGER THAN 8' TO HAVE DOUBLE KING STUDS

8' CEILINGS

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/200TH ROOF 1/2 IN SOFFIT
1/2 IN ROOF NEAR RIDGE
FLASH ABOVE ALL EXTERIOR OPENINGS
SHINGLES PER ELEVATION/SPECS.
15# FELT

1/2" ROOF SHEATHING
RIDGE # BOX ROOF VENTS

1" AIR SPACE
R-50 INSULATION
OSB ROOF SHEATHING
6'-0" ICE AND WATER SHEILD
MFG. TRUSSES @ 24" O.C.
7/8" ENERGY HEEL
RT7 TRUSS TIE DOWN BY USP
CONNECTIONS OR EQUAL
RIGID WIND WASH
METAL DRIP EDGE
2X6 # ALUMINUM FACIA
VENTED ALUMINUM SOFFIT
4" MIL VAPOR BARRIER WARM
SIDE OF ALL WALLS AND CEILINGS
1/2" GYP BD.
EXTERIOR WALL SHEATHING

3/4" T # G GLUED OSB SINGLE
LAYER FLOOR SYSTEM
R20 SPRAY
FOAM
18" MFG. TRUSS @ 24" O.C.
SIDING PER
ELEVATION
AIR INFILTRATION BARRIER
ALL EXTERIOR WALLS
2X6 @ 16" O.C.
R-20 INSULATION

R20 SPRAY
FOAM
2X6 BASEMENT
EXTERIOR WALL
FRAMING
TYPICAL ANCHORING
1/2" X 12" ANCHOR BOLT OR STRAP
6'-0" O.C. @ WALL RUNS
12" O.C. @ WALL ENDS
CORE FILL TOP 2 COURSES

2X6 TRTD BOTTOM
PLATE
SCUFF COAT INSULATION
GRADE
PASSIVE RADON
SYSTEM AS REQUIRED
W/ WASHED ROCK
R-10 INSULATION AT
WALKOUT TRENCH
3'-6" POURED CONC. WALL
DRAIN TILE AS REQUIRED
20" X 8" FOOTING

1 1/2" X 9 1/2"
TIMBERSTRAND LSL
FLOOR JOISTS @
16" O.C.
W/ BLOCKING
NO PLATE OVERHANG
AT WALK-OUT ONLY
HOUSE WRAP
INSTALLED BY
FRAMER
R-10 INSULATION
4" CONC. SLAB REF. AS REQ. ON
6 MIL SEALED MOISTURE BARRIER
ON 6" COMPACTED GRANULAR FILL
GARAGE AND DAYLIGHT
FOOTINGS @ 42" MIN.
BELOW GRADE

1" AIR SPACE
OSB ROOF SHEATHING
6'-0" ICE AND WATER SHEILD
MFG. TRUSSES @ 24" O.C.
HEEL AS NEEDED
RT7 TRUSS TIE DOWN BY USP
CONNECTIONS OR EQUAL
RIGID WIND WASH
METAL DRIP EDGE
2X6 # ALUMINUM FACIA
VENTED ALUMINUM SOFFIT
2X6 @ 12" O.C.
EXTERIOR WALL SHEATHING
VINYL SIDING
AIR INFILTRATION BARRIER
ALL EXT. WALLS
TYPICAL ANCHORING
1/2" X 12" ANCHOR BOLT OR
STRAP 6'-0" O.C. @ WALL
RUNS 12" O.C. @ WALL ENDS
2X6 TRD BOTTOM PLATE
GRADE 6" BELOW
SHEATHING
3'-6" POURED
FOUNDATION WALL

ALL STRUCTURAL LUMBER
2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER
ALL 2X4 AND 2X6 STUDS WILL BE WESTERN
WHITES NO. 2 OR BETTER
WINDOWS ARE MAXIMUM OF .30
U-VALUE WITH MAXIMUM SHGC .29
WINDOW FALL PROTECTION PER
R3 I 2.2.1 AND R3 I 2.2.2
PATIO DOORS .30U AND .26 SHGC
ALL STEEL DOORS .19U
**NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY
INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION
W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS
REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE
DIRECTED TO BRET JUENKE #651-463-9333
**NOTE: APPROVED VAPOR RETARDER WITH JOINTS
LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB
**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL
LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020
NOTE: VENT 1/200TH ROOF 1/2 IN SOFFIT
1/2 IN ROOF NEAR RIDGE
FLASH ABOVE ALL EXTERIOR OPENINGS
SHINGLES PER ELEVATION/SPECS.
15# FELT
1/2" ROOF SHEATHING
1" AIR SPACE
OSB ROOF SHEATHING
6'-0" ICE AND WATER SHEILD
MFG. TRUSSES @ 24" O.C.
HEEL AS NEEDED
RT7 TRUSS TIE DOWN BY USP
CONNECTIONS OR EQUAL
RIGID WIND WASH
METAL DRIP EDGE
2X6 # ALUMINUM FACIA
VENTED ALUMINUM SOFFIT
2X6 @ 12" O.C.
EXTERIOR WALL SHEATHING
VINYL SIDING
AIR INFILTRATION BARRIER
ALL EXT. WALLS
TYPICAL ANCHORING
1/2" X 12" ANCHOR BOLT OR
STRAP 6'-0" O.C. @ WALL
RUNS 12" O.C. @ WALL ENDS
2X6 TRD BOTTOM PLATE
GRADE 6" BELOW
SHEATHING
3'-6" POURED
FOUNDATION WALL

RADON VENT PIPE TERMINATED AT
LEAST 12" ABOVE SURFACE OF ROOF

MINIMUM 3" ABS OR PVC OR
EQUIVALENT GAS TIGHT PIPE
4" PIPE MAY BE MORE EFFECTIVE, BUT
NOT REQUIRED

SPACE PROVIDED FOR INSTALLATION
OF A FAN
- MINIMUM 24" DIAMETER CENTERED
ON THE AXIS OF THE VENT STACK
- MINIMUM VERTICAL DISTANCE OF 3
FEET

**NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY
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W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS
REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE
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**NOTE: APPROVED VAPOR RETARDER WITH JOINTS
LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL
LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/200TH ROOF 1/2 IN SOFFIT
1/2 IN ROOF NEAR RIDGE
FLASH ABOVE ALL EXTERIOR OPENINGS
SHINGLES PER ELEVATION/SPECS.
15# FELT
1/2" ROOF SHEATHING

1" AIR SPACE
OSB ROOF SHEATHING
6'-0" ICE AND WATER SHEILD
MFG. TRUSSES @ 24" O.C.
HEEL AS NEEDED
RT7 TRUSS TIE DOWN BY USP
CONNECTIONS OR EQUAL
RIGID WIND WASH
METAL DRIP EDGE
2X6 # ALUMINUM FACIA
VENTED ALUMINUM SOFFIT

2X6 @ 12" O.C.
EXTERIOR WALL SHEATHING
VINYL SIDING
AIR INFILTRATION BARRIER
ALL EXT. WALLS
TYPICAL ANCHORING
1/2" X 12" ANCHOR BOLT OR
STRAP 6'-0" O.C. @ WALL
RUNS 12" O.C. @ WALL ENDS
2X6 TRD BOTTOM PLATE
GRADE 6" BELOW
SHEATHING
3'-6" POURED
FOUNDATION WALL

2X6 TRD BOTTOM
PLATE
SCUFF COAT INSULATION
GRADE
PASSIVE RADON
SYSTEM AS REQUIRED
W/ WASHED ROCK
R-10 INSULATION AT
WALKOUT TRENCH
3'-6" POURED CONC. WALL
DRAIN TILE AS REQUIRED
20" X 8" FOOTING

1 1/2" X 9 1/2"
TIMBERSTRAND LSL
FLOOR JOISTS @
16" O.C.
W/ BLOCKING
NO PLATE OVERHANG
AT WALK-OUT ONLY
HOUSE WRAP
INSTALLED BY
FRAMER
R-10 INSULATION
4" CONC. SLAB REF. AS REQ. ON
6 MIL SEALED MOISTURE BARRIER
ON 6" COMPACTED GRANULAR FILL
GARAGE AND DAYLIGHT
FOOTINGS @ 42" MIN.
BELOW GRADE

EXTERIOR GARAGE WALL

75% OF THE BULBS IN PERMANENTLY INSTALLED
LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS
REQUIREMENT APPLIES TO INDOOR AND
OUTDOOR FIXTURES, INCLUDING ACCESSORY
STRUCTURES AND GARAGES. HIGH EFFICACY
BULBS ARE: 60 LUMENS/W FOR LAMPS OVER
40W; 50 LUMENS/W FOR LAMPS OVER 15W TO
40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

R 404.1 LIGHTING EQUIPMENT
A MINIMUM OF 75 PERCENT OF THE LAMPS IN
PERMANENTLY INSTALLED LIGHTING FIXTURES
SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM
OF 75 PERCENT OF THE PERMANENTLY INSTALLED
LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH
EFFICACY LAMPS.

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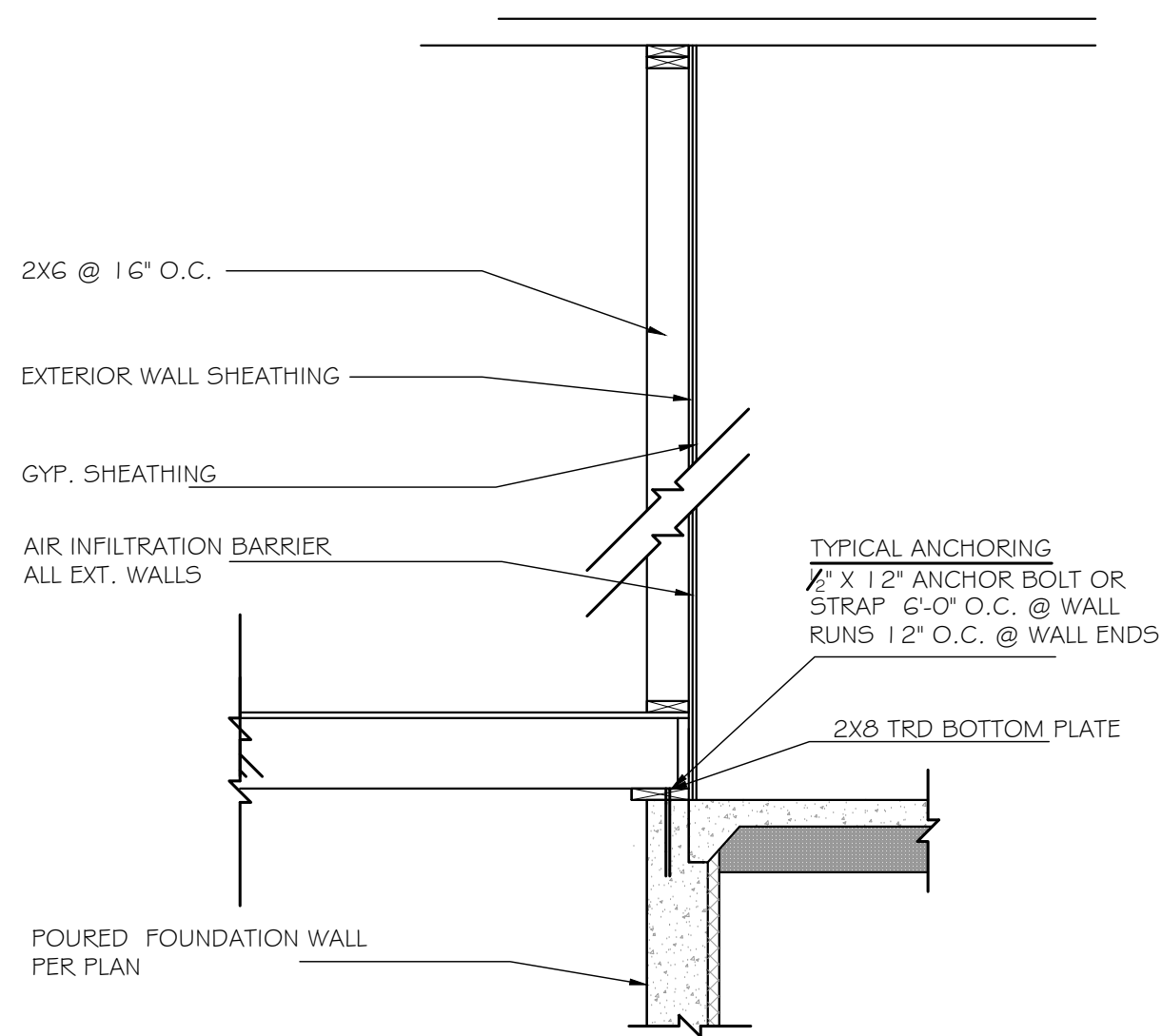
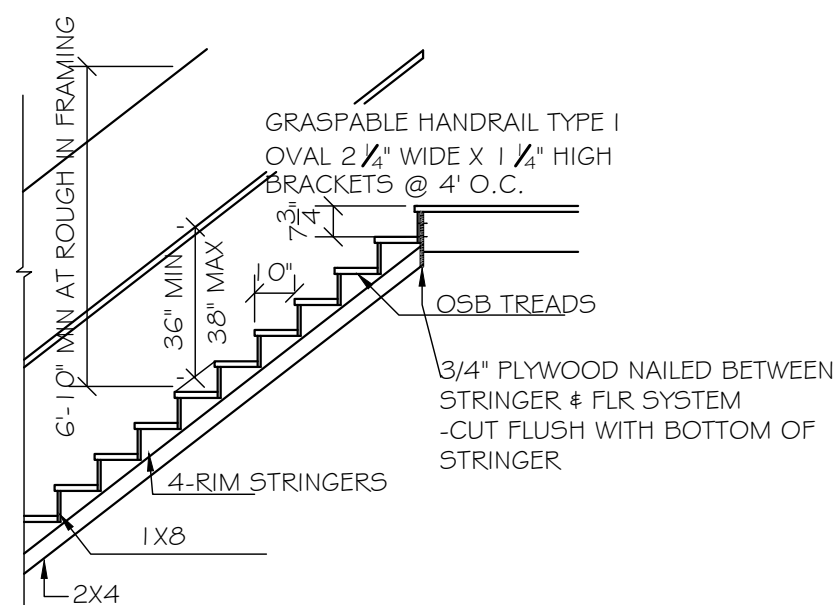
Scale: 1/4" = 1'-0"

Fin Sq Ft:

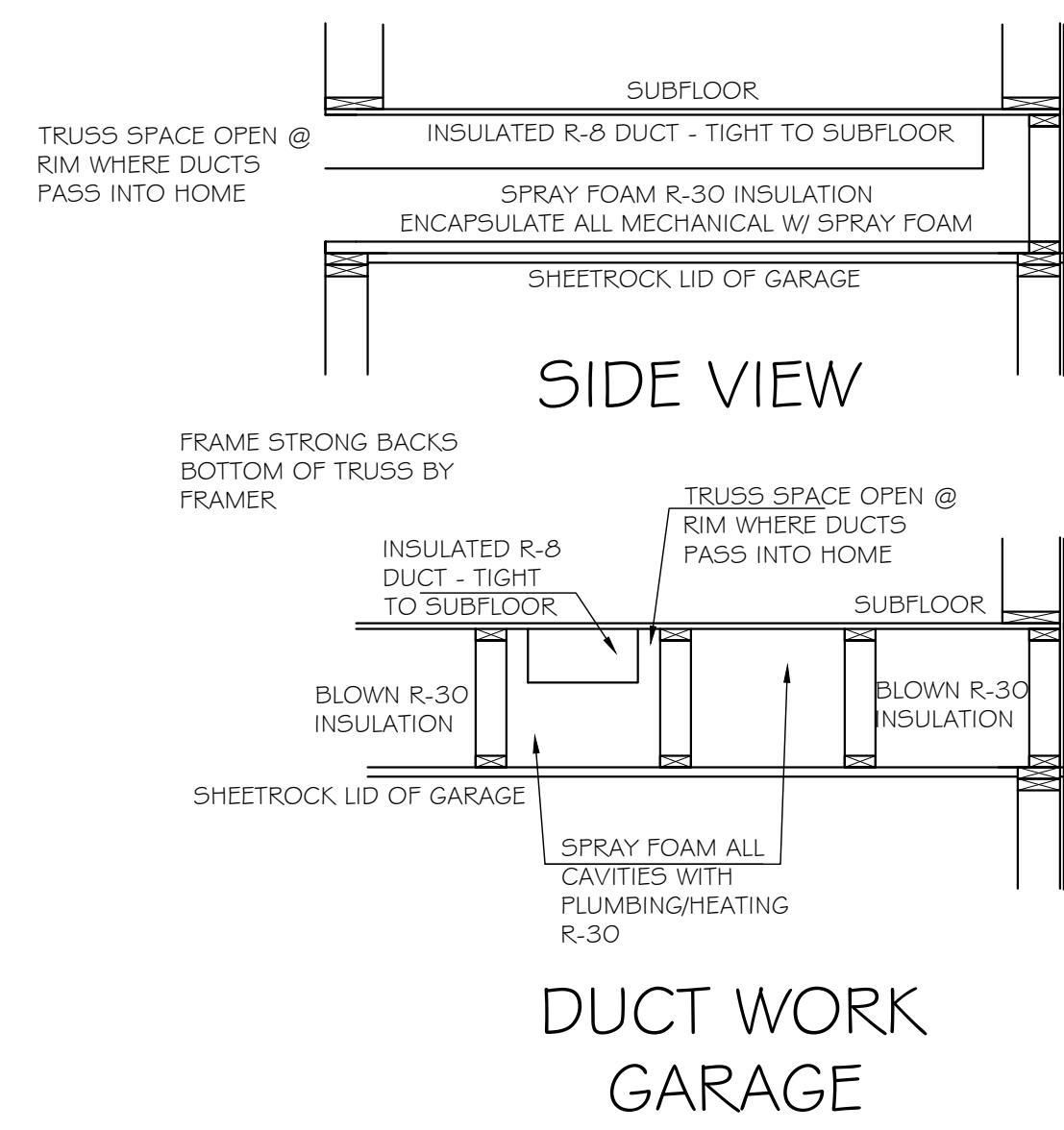
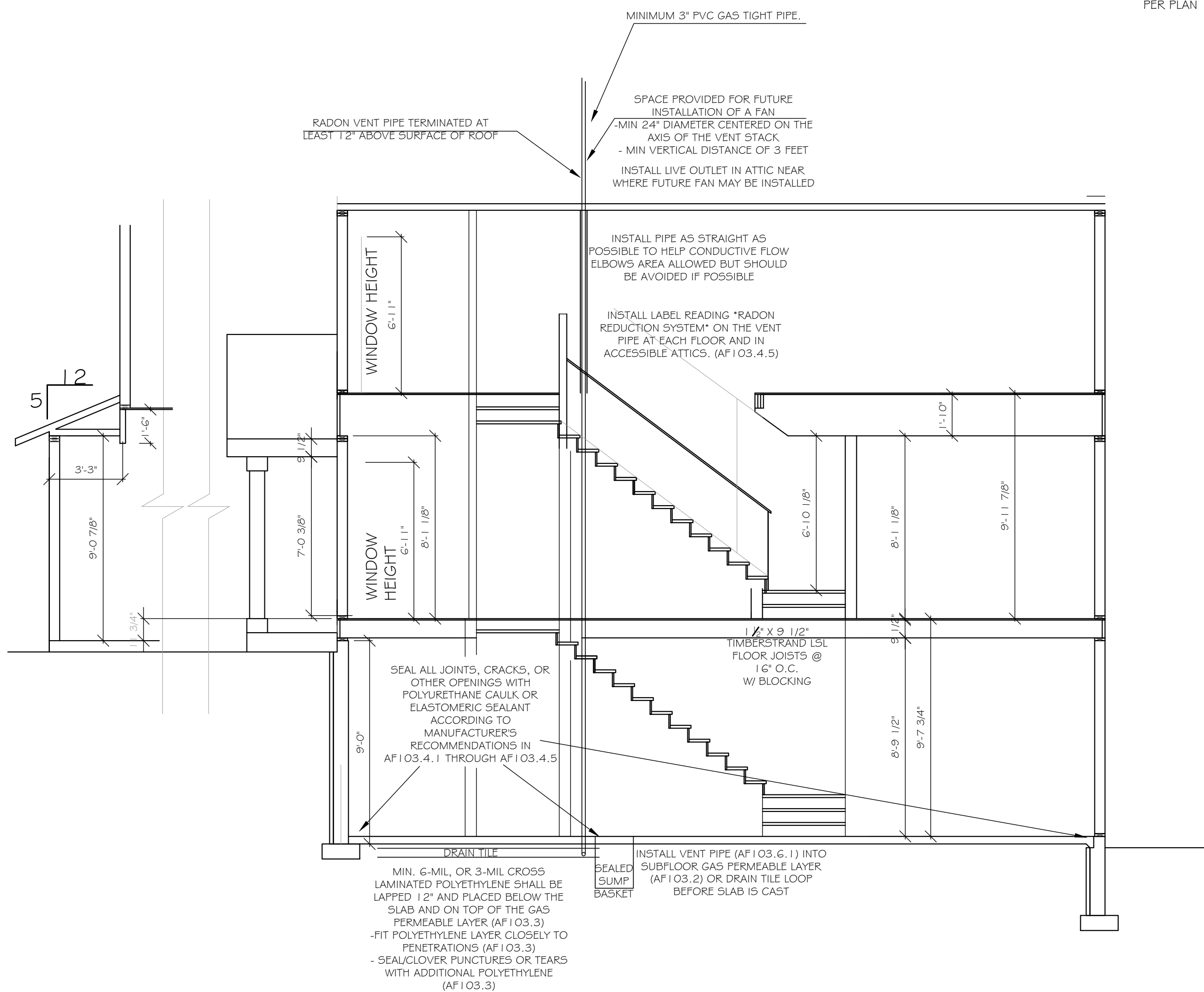
WALKOUT

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INTERIOR STAIR DETAIL



GARAGE COMMON WALL



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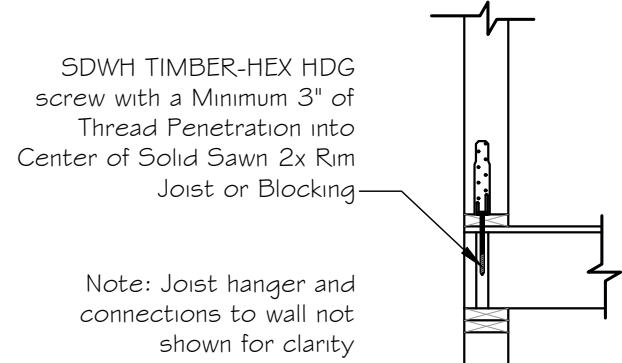
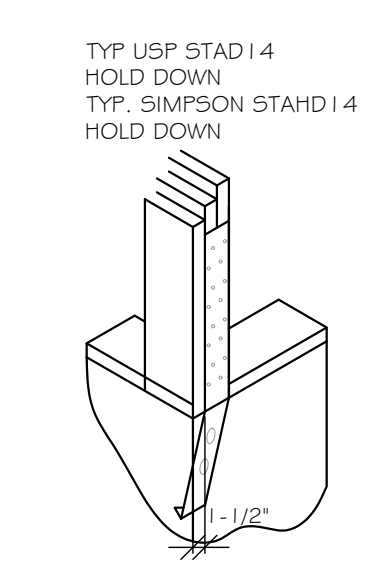
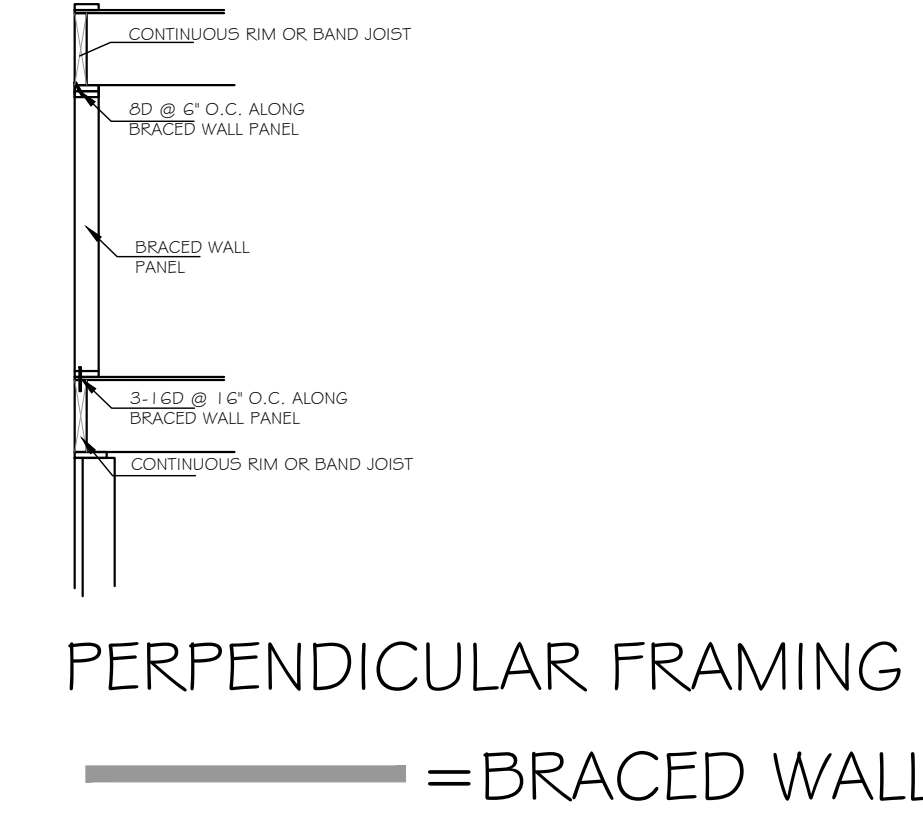
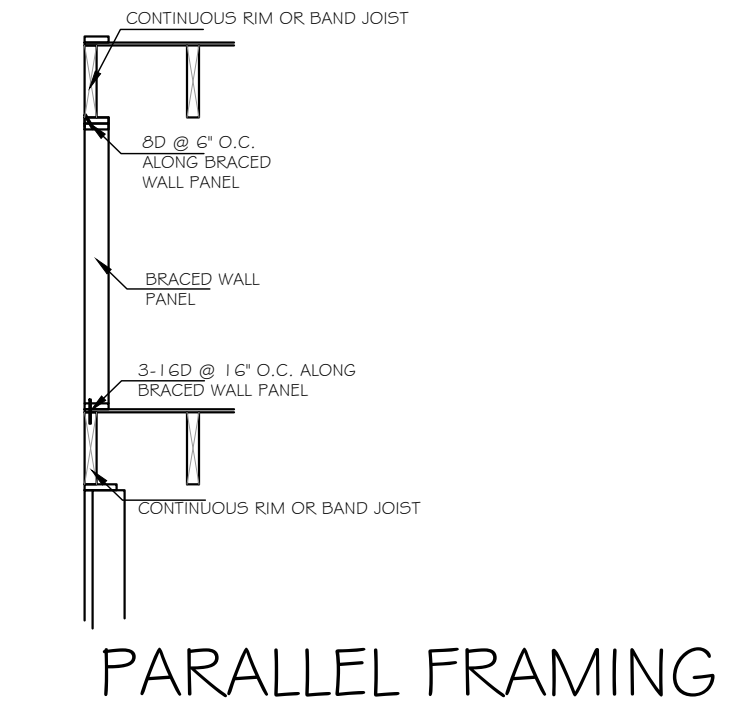
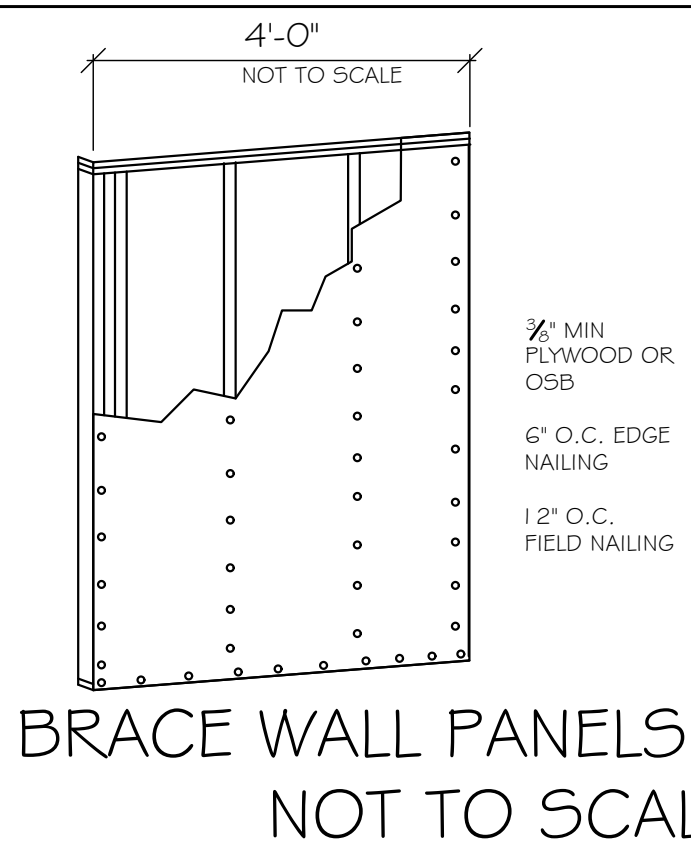
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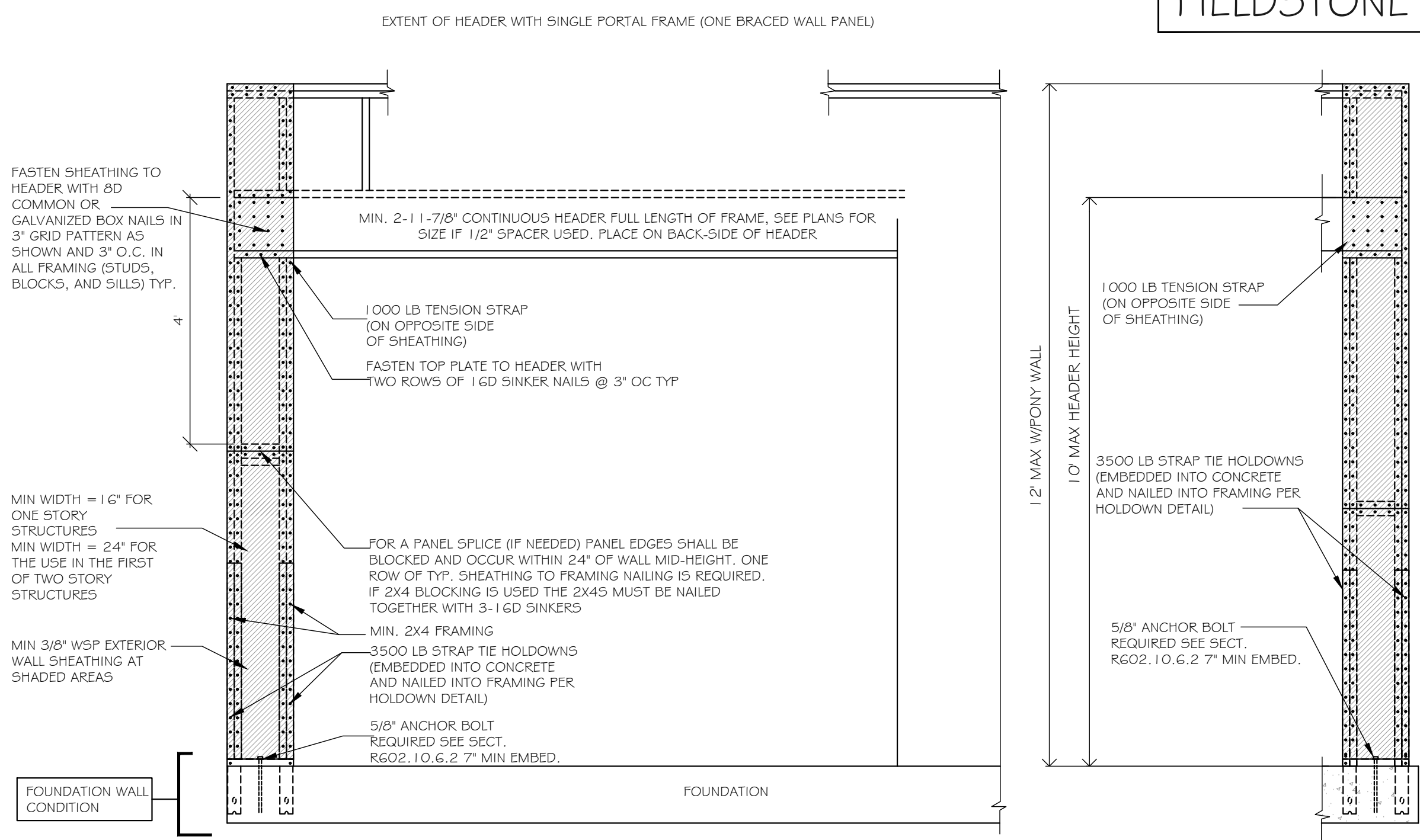
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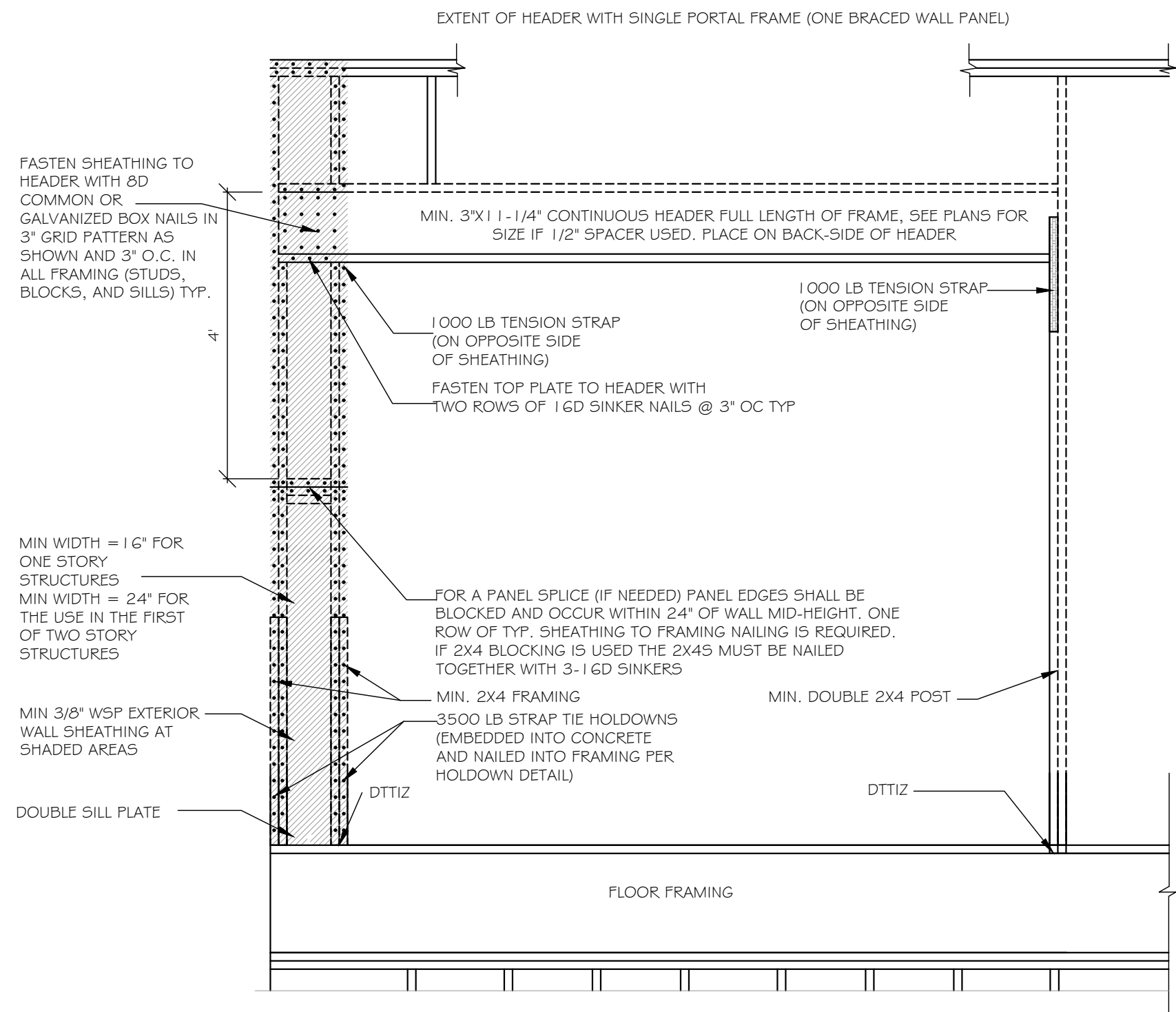
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DTT I Z HOLD DOWN FOR WIND BRACING



PORTAL WALL FRAMING DETAIL PFH @ GARAGE DOOR



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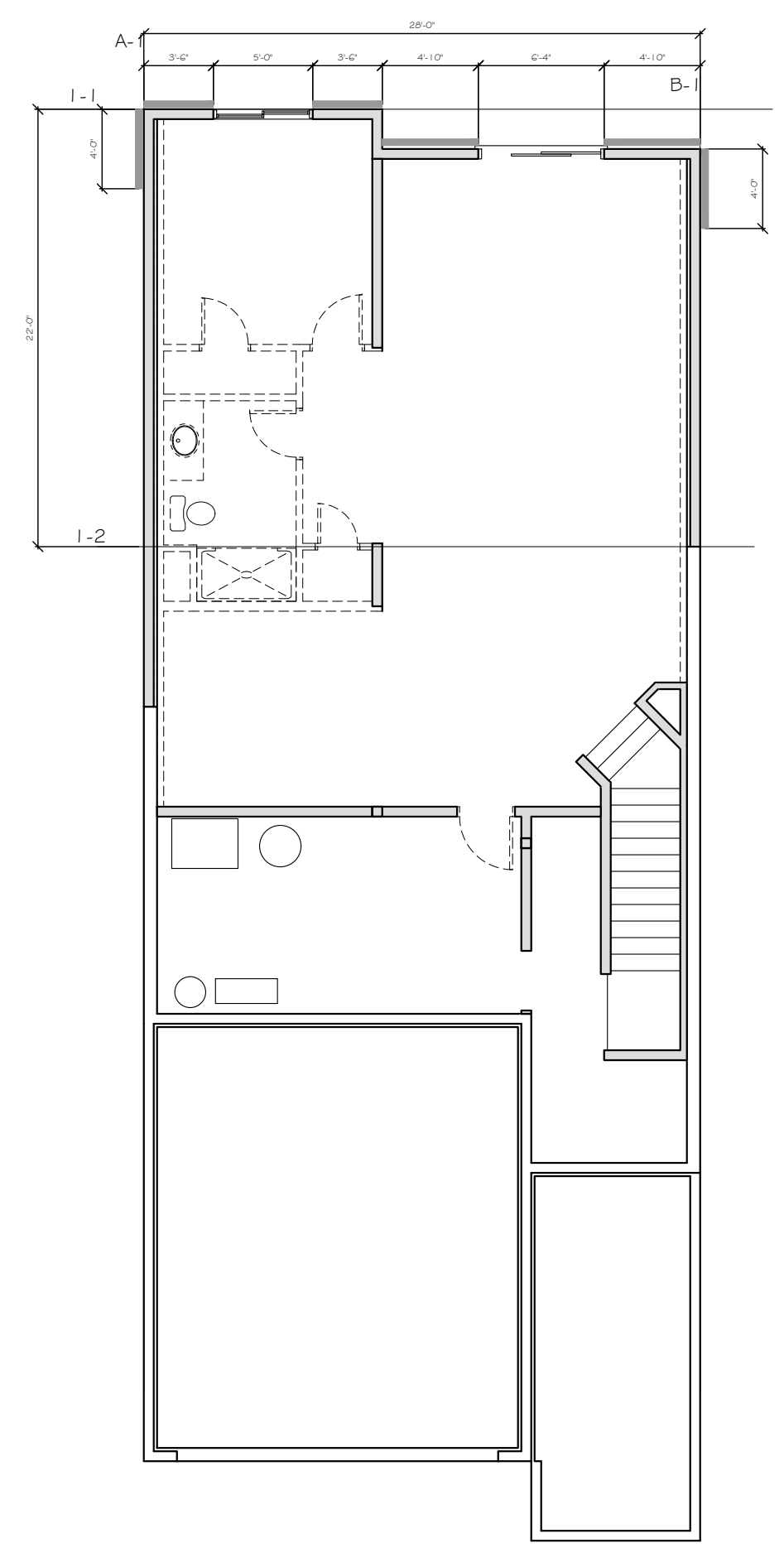
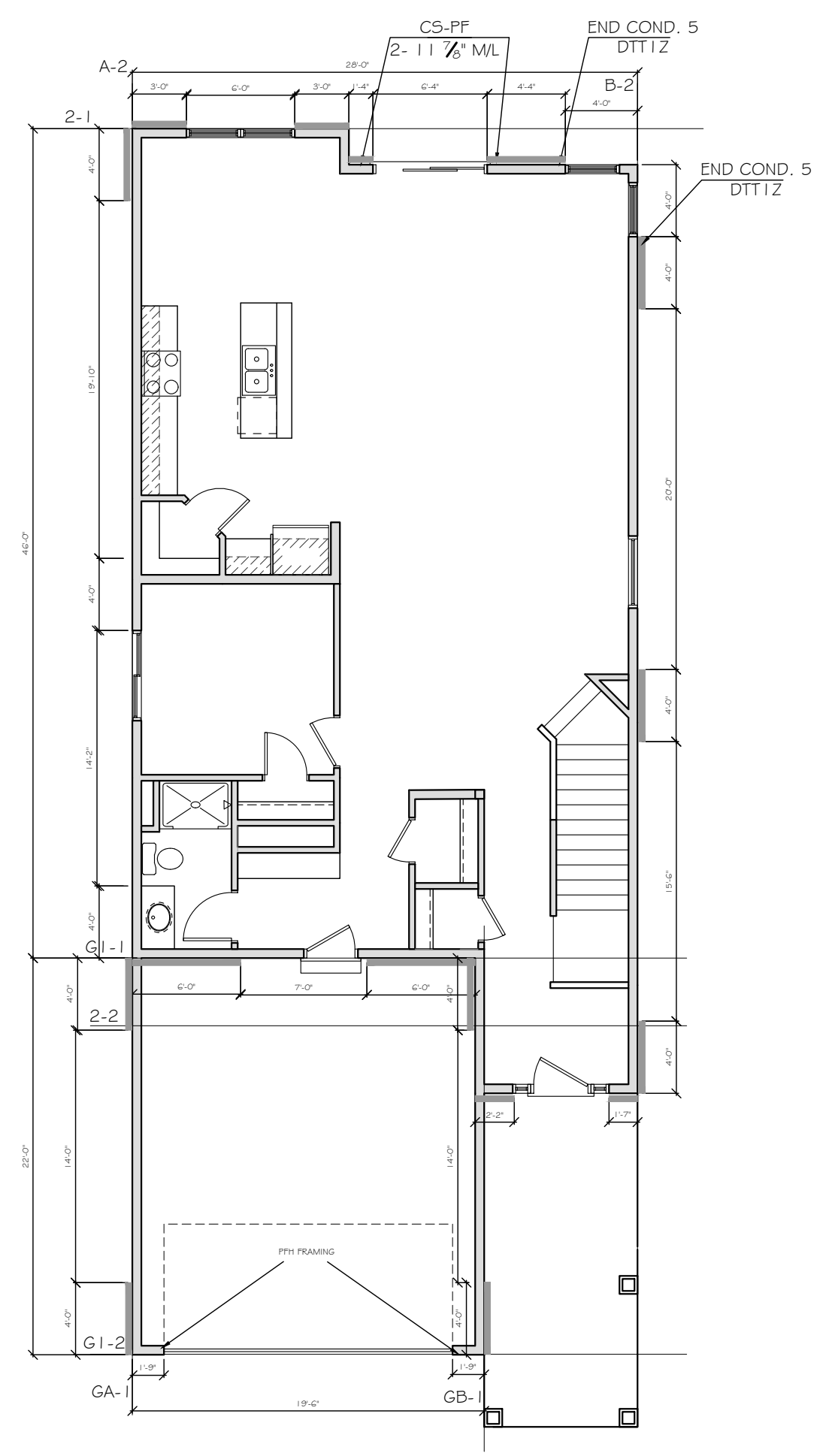
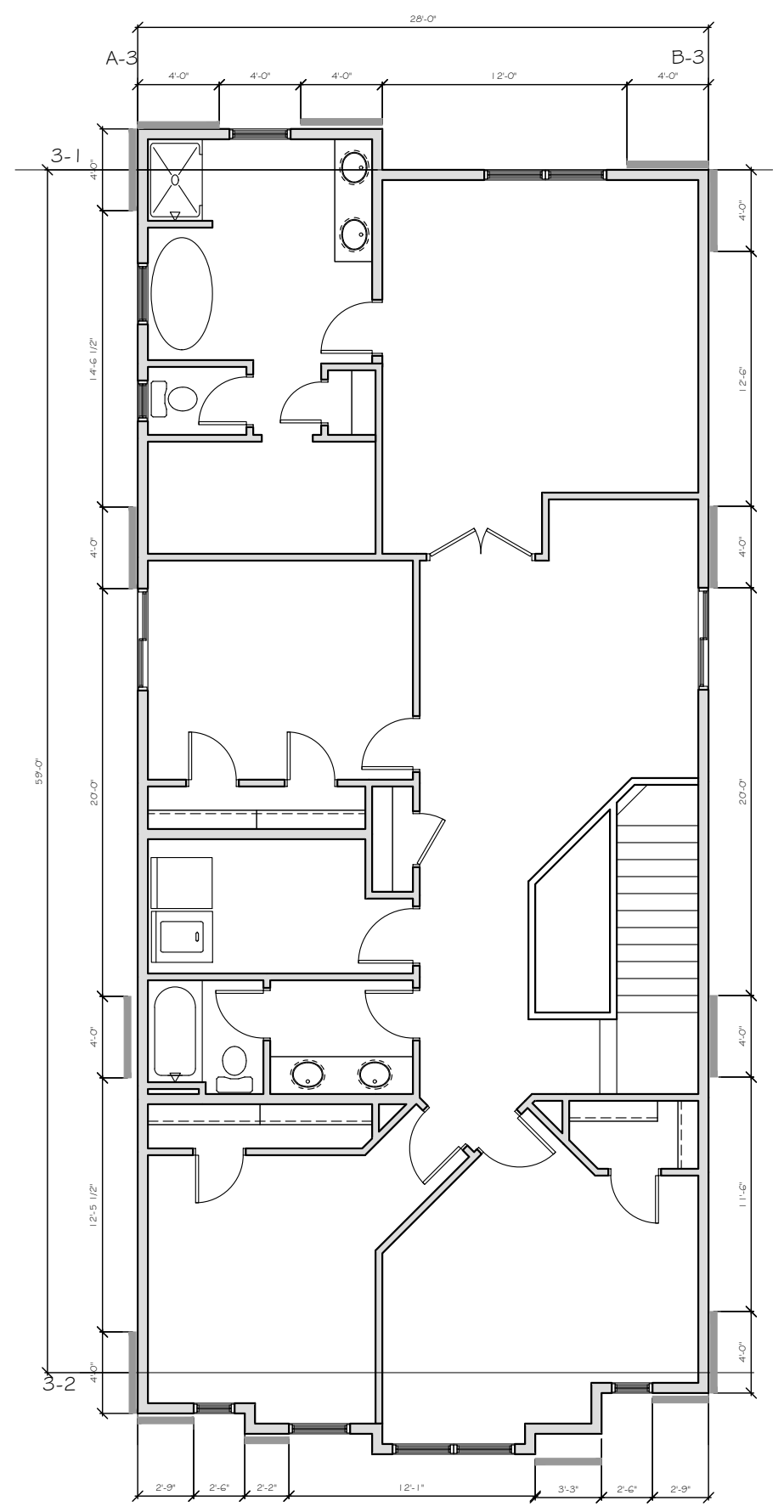
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REVISION 11	
FINAL	7.10.24

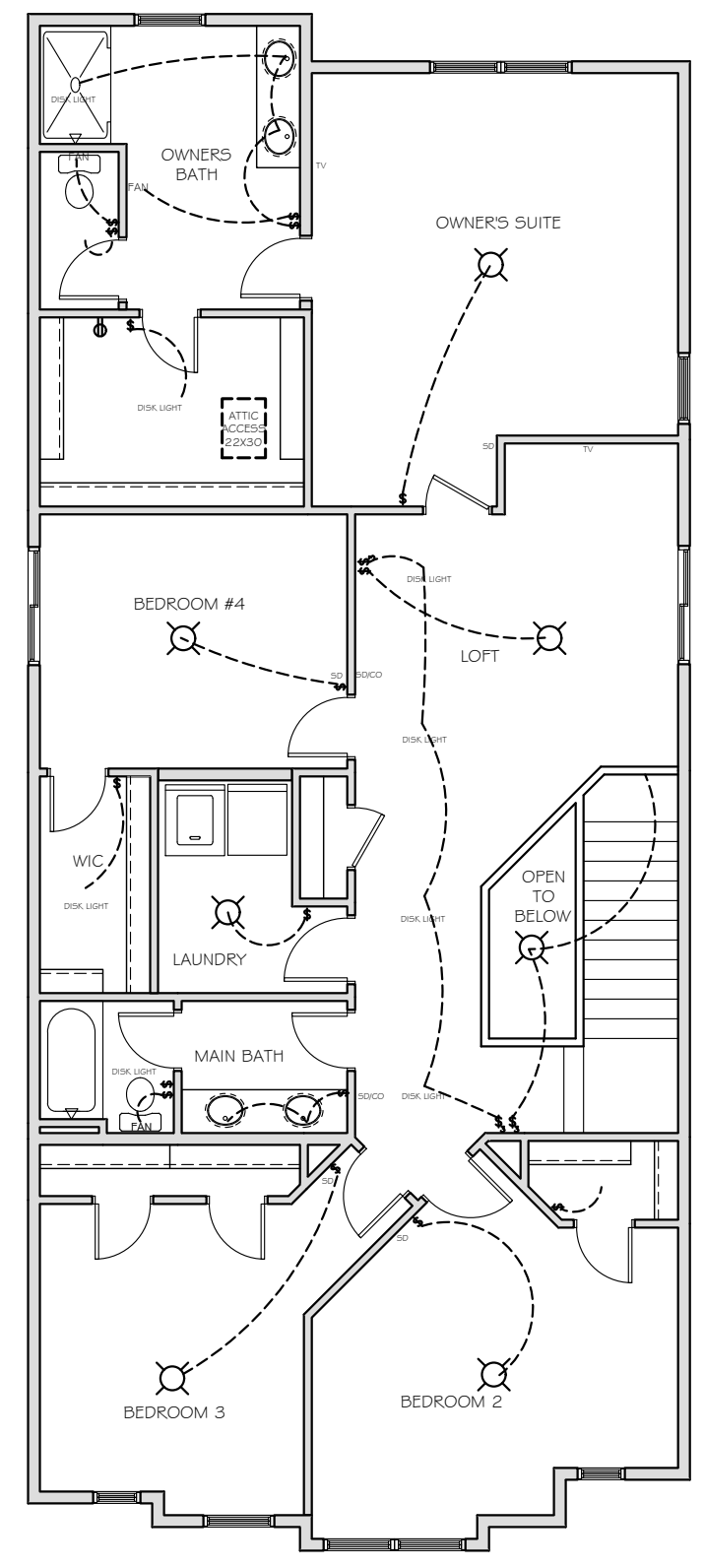
All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

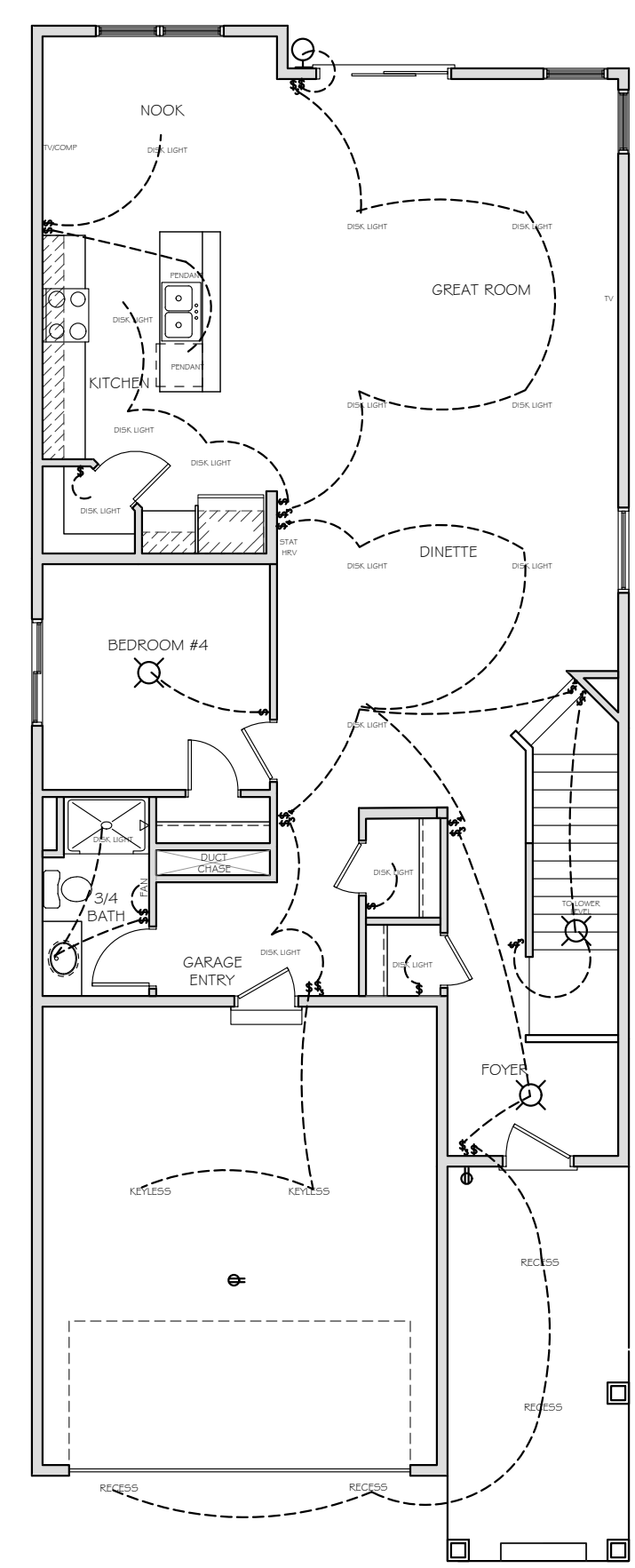
Agent:
Plan: THE GRAND
Total Foundation: 1907
House Foundation: 1324
Finished: 3133
Unfinished: 1268

Scale: 1/8" = 1'-0"

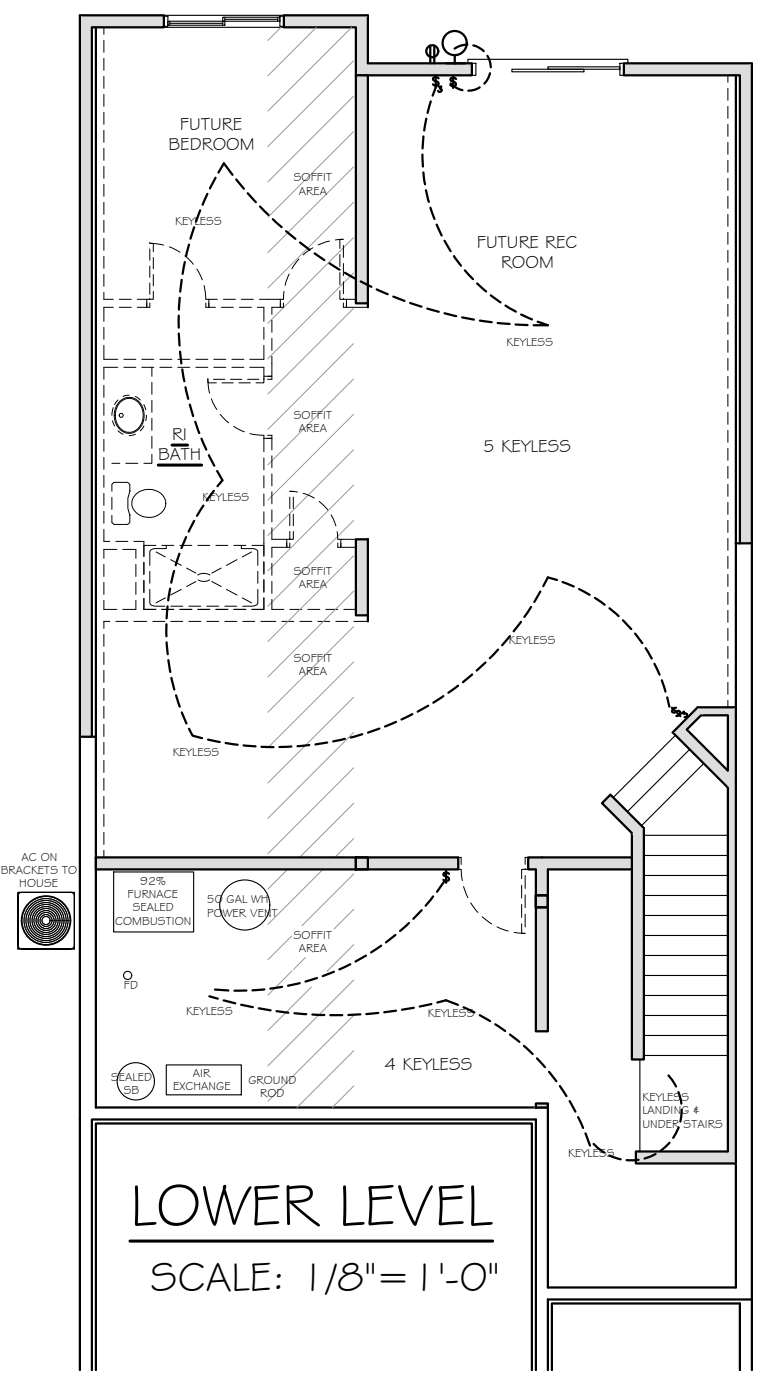
Fin Sq Ft:



UPPER LEVEL
SCALE: 1/8" = 1'-0"



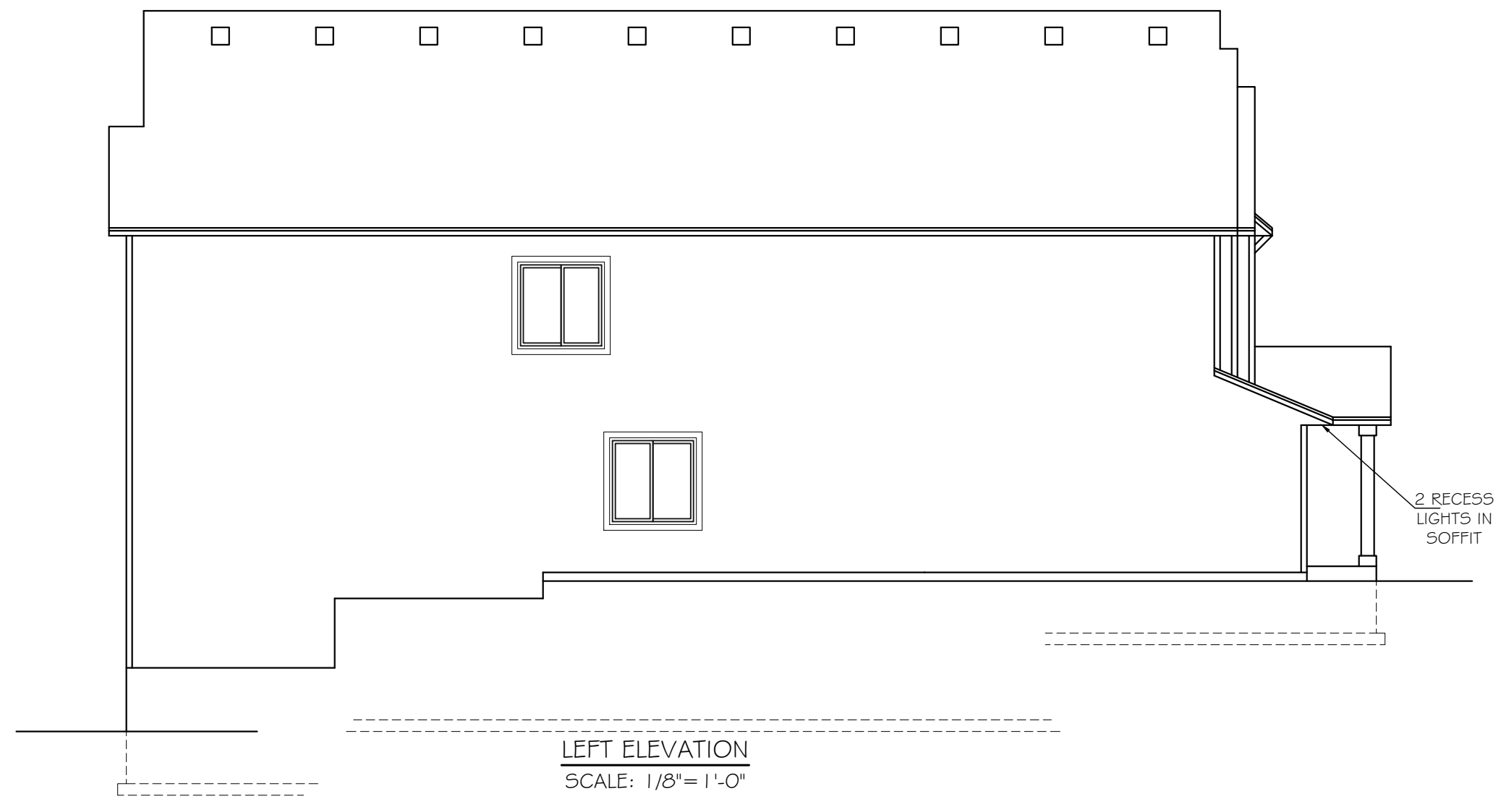
MAIN LEVEL
SCALE: 1/8" = 1'-0"



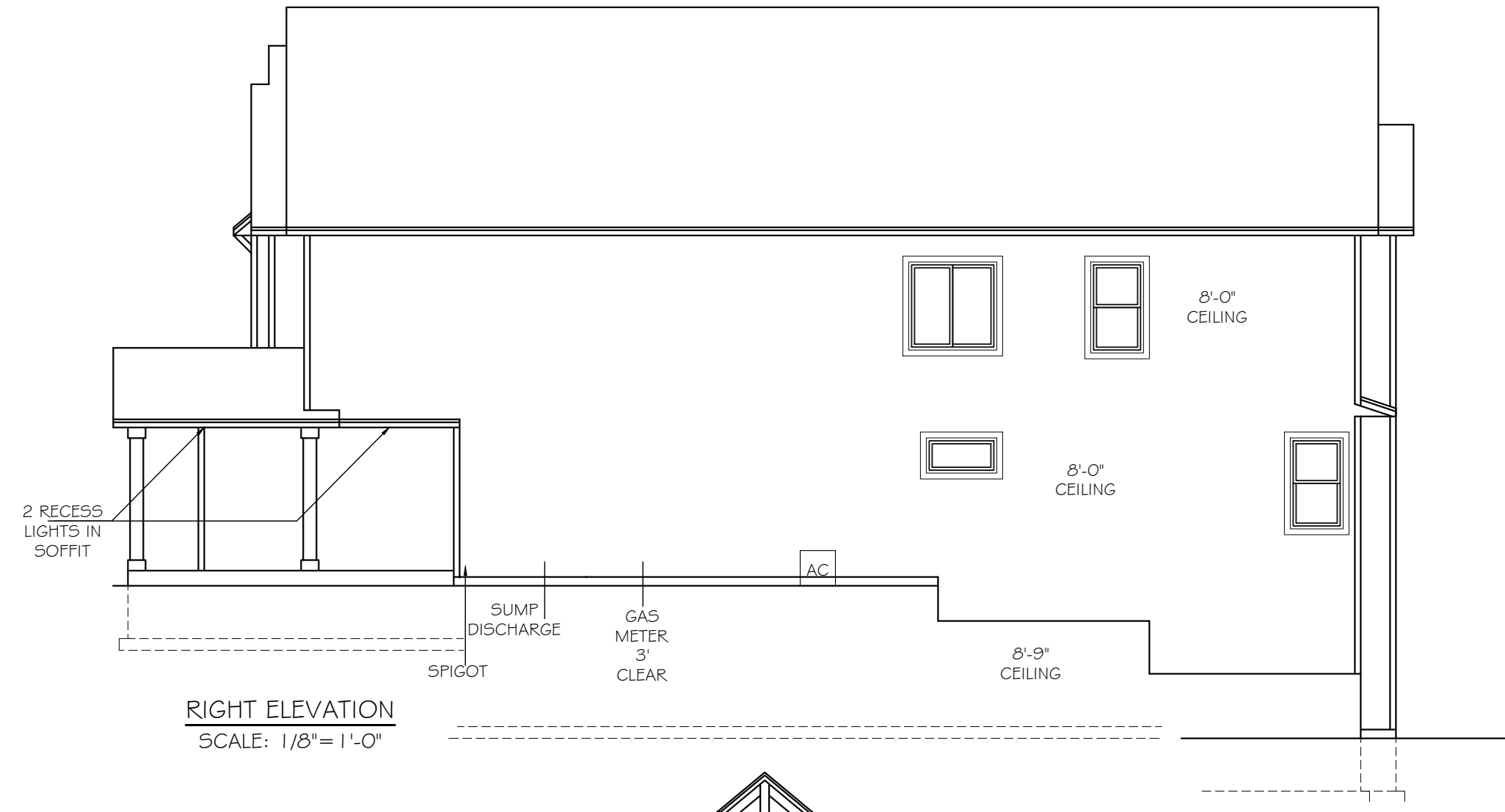
LOWER LEVEL
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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MN LIC: BC631164
WI LIC: DC-070800080

CLIENT:
Project:

LOCATION:
LOT _ BLK_ DEVELOPMENT

Street
CITY
MN ZIP
JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	7.10.24

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Homeowner Signature

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