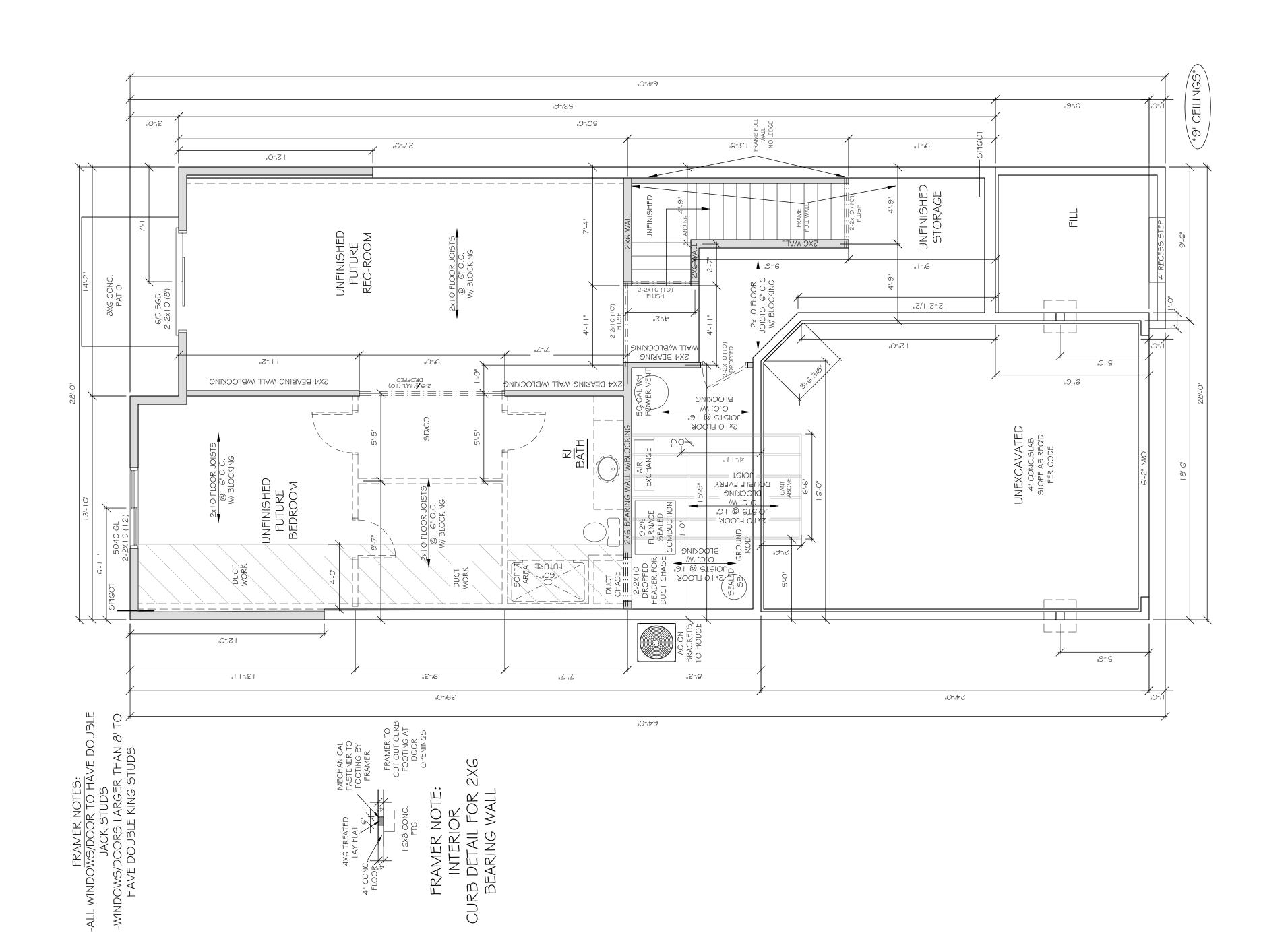


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CLIENT: Project:

LOCATION:

LOT \_ BLK\_ DEVELOPMENT

Street CITY MN JOB #:

REVISION I
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REVISION 3
REVISION 4
REVISION 5
REVISION 6
REVISION 7
REVISION 8
REVISION 9
REVISION I 0
REVISION I 1
FINAL I 0/7/24

ZIP

All changes after above date will be done according to F.F.H.
Change Order Policy

Homeowner Signature

Agent:

Plan: THE MINNEHAHA

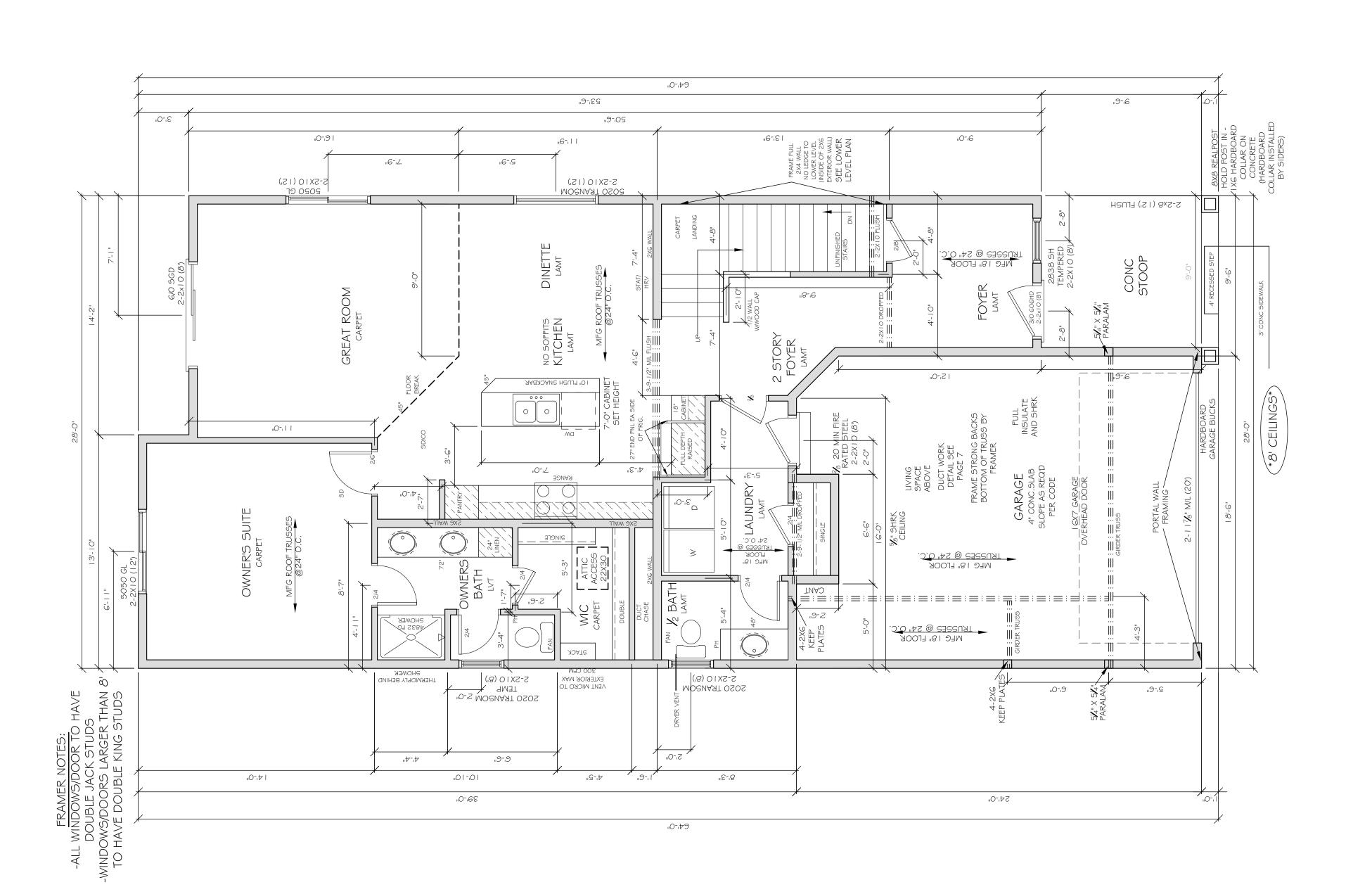
Total Foundation: 1648

House Foundation: 1 190 Finished: 1725

Unfinished: 1190

Scale: 1/4" = 1'-0"

Fın Sq Ft:



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CLIENT: Project:

LOCATION: LOT\_BLK\_

Street
CITY
MN ZIP
JOB #:

DEVELOPMENT

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REVISION 6
REVISION 7
REVISION 8
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REVISION I 1

All changes after above date will be done according to F.F.H.
Change Order Policy

0/7/24

Homeowner Signature

Agent:

FINAL

Plan: THE MINNEHAHA

Total Foundation: 1648
House Foundation: 1190

Finished: 1725 Unfinished: 1190

Scale: 1/4" = 1'-0"

Fin Sq Ft: 1205

MAIN LEVEL

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CLIENT:

Project:

LOCATION:

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DEVELOPMENT

ZIP

Street CITY

> MN JOB #:

REVISION 1 REVISION 2

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REVISION 4

REVISION 5

REVISION 6
REVISION 7

REVISION 8
REVISION 9

REVISION 10

REVISION I I

FINAL

All changes after above date will be done according to F.F.H.

Change Order Policy

10/7/24

Homeowner Signature

Agent:

Plan: THE MINNEHAHA

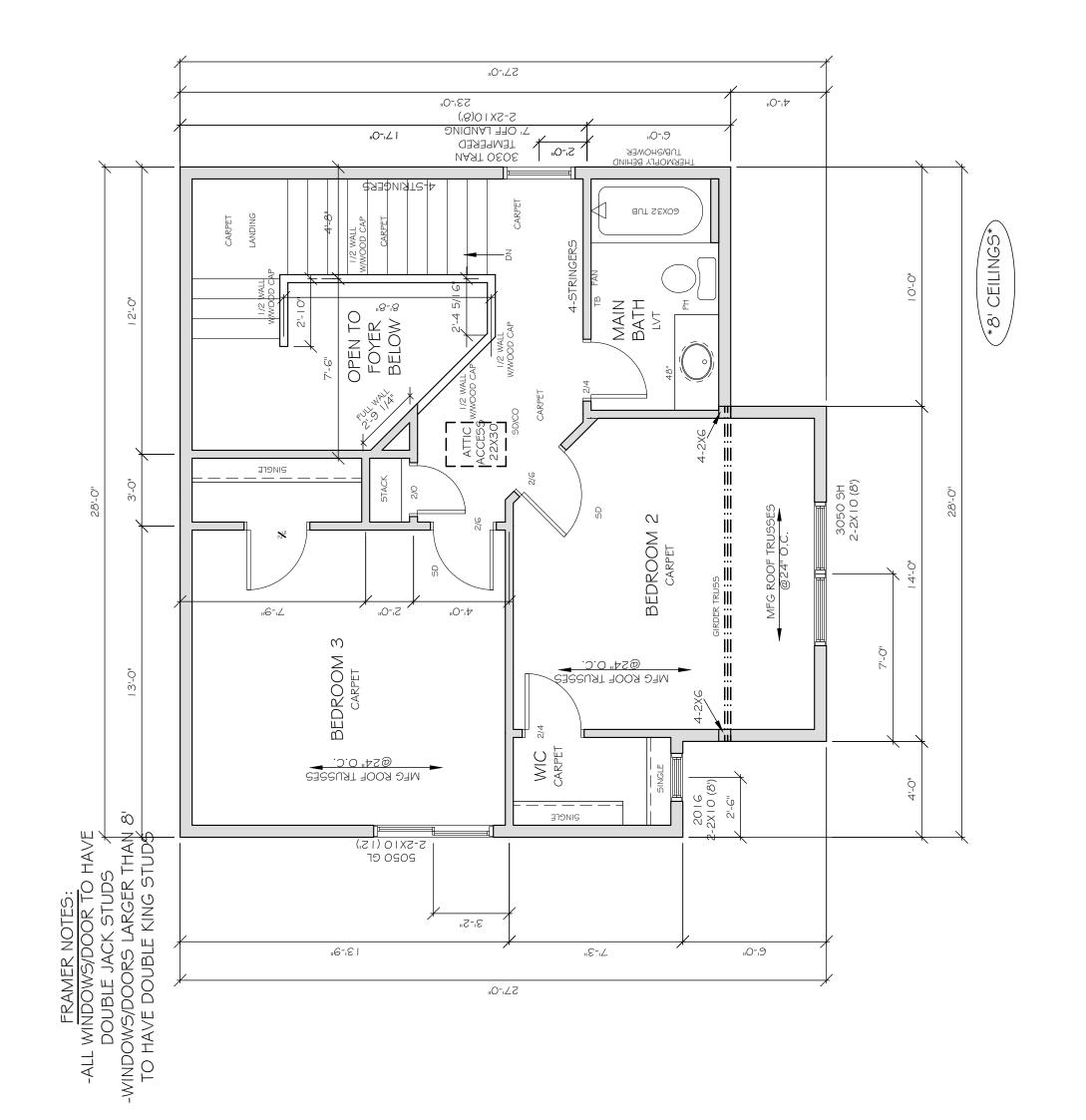
Total Foundation: 1648

House Foundation: 1190

Finished: 1725 Unfinished: 1190

Scale: 1/4" = 1'-0"

Fin Sq Ft: 520



\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020 NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT 1/2 IN ROOF NEAR RIDGE FLASH ABOVE ALL EXTERIOR OPENINGS SHINGLES PER ELEVATION/SPECS. 15# FELT 1/2" ROOF SHEATHING RIDGE & BOX ROOF VENTS RADON VENT PIPE TERMINATED AT I" AIR SPACE -SEE ELEVATION LEAST 12" ABOVE SURFACE OF ROOF R-50 INSULATION MINIMUM 3" ABS OR PVC OR OSB ROOF SHEATHING EQUIVALENT GAS TIGHT PIPE 4" PIPE MAY BE MORE EFFECTIVE, BUT 6'-0" ICE AND WATER SHEILD NOT REQUIRED MFG. TRUSSES @ 24" O.C. SPACE PROVIDED FOR INSTALLATION 7/3" ENERGY HEEL -OF A FAN RT7 TRUSS TIE DOWN BY USP - MINIMUM 24" DIAMETER CENTERED CONNECTIONS OR EQUAL ON THE AXIS OF THE VENT STACK - MINIMUM VERTICAL DISTANCE OF 3 RIGID WIND WASH METAL DRIP EDGE 2X6 & ALUMINUM FACIA VENTED ALUMINUM SOFFIT 4" MIL VAPOR BARRIER WARM SIDE OF ALL WALLS AND CEILINGS " GYP BD. — EXTERIOR WALL SHEATHING -3/4" T & G GLUED OSB SINGLE -LAYER FLOOR SYSTEM R20 SPRAY **FOAM** 18" MFG. TRUSS @ 24" O.C. SIDING PER ELEVATION AIR INFILTRATION BARRIER ALL EXTERIOR WALLS 2X6 @ 16" O.C. R-20 INSULATION R20 SPRAY FOAM 2X6 BASEMENT EXTERIOR WALL FRAMING 2X10 FLOOR JOISTS @ 16" W/ BLOCKING NO PLATE OVERHANG TYPICAL ANCHORING 1/2" X 12" ANCHOR BOLT OR STRAP AT WALK-OUT ONLY 6'-0" O.C. @ WALL RUNS 12" O.C. @ WALL ENDS CORE FILL TOP 2 COURSES HOUSE WRAP INSTALLED BY FRAMER 2X6 TRTD BOTTOM PLATE R-10 INSULATION SCUFF COAT INSULATION GRADE \_\_ PASSIVE RADON SYSTEM AS REQUIRED W/ WASHED ROCK 4" CONC. SLAB REF. AS REQ. ON R-10 INSULATION AT 6 MIL SEALED MOISTURE BARRIER WALKOUT TRENCH ON 6" COMPACTED GRANULAR FILL 3'-6" POURED CONC. WALL DRAIN TILE AS REQUIRED 20" X 8" FOOTING GARAGE AND DAYLIGHT

ALL STRUCTURAL LUMBER

2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER ALL 2X4 AND 2X6 STUDS WILL BE WESTERN WHITES NO. 2 OR BETTER

WINDOWS ARE MAXIMUM OF .30 U-VALUE WITH MAXIMUM SHGC .29 WINDOW FALL PROTECTION PER R3 | 2.2. | AND R3 | 2.2.2 PATIO DOORS .30U AND .26 SHGC ALL STEEL DOORS .19U

\*\*NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE DIRECTED TO BRET JUENKE #651-463-9333

\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

PER

ELEVATION

NOTE: VENT 1300TH ROOF 12 IN SOFFIT

FLASH ABOVE ALL EXTERIOR OPENINGS SHINGLES PER ELEVATION/SPECS.

1/2 IN ROOF NEAR RIDGE

1/2" ROOF SHEATHING

OSB ROOF SHEATHING

HEEL AS NEEDED -

RIGID WIND WASH

METAL DRIP EDGE

2X6 @ 12" O.C. -

SIDING PER PLAN/SPECS

ALL EXT. WALLS

2X6 \$ ALUMINUM FACIA

VENTED ALUMINUM SOFFIT -

EXTERIOR WALL SHEATHING

AIR INFILTRATION BARRIER

STRAP 6'-0" O.C. @ WALL RUNS 12" O.C. @ WALL ENDS

2X6 TRD BOTTOM PLATE

GRADE 6" BELOW

SHEATHING

3'-6" POURED

FOUNDATION WALL

6'-0" ICE AND WATER SHEILD MFG. TRUSSES @ 24" O.C.

RT7 TRUSS TIE DOWN BY USP CONNECTIONS OR EQUAL

15# FELT

I" AIR SPACE -

\*\*NOTE: APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB

FIELDSTONE FAMILY HOMES INC.

75% OF THE BULBS IN PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS REQUIREMENT APPLIES TO INDOOR AND OUTDOOR FIXTURES, INCLUDING ACCESSORY STRUCTURES AND GARAGES. HIGH EFFICACY BULBS ARE: 60 LUMENS/W FOR LAMPS OVER 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

R 404.1 LIGHTING EQUIPMENT
A MINIMUM OF 75 PERCENT OF THE LAMPS IN
PERMANENTLY INSTALLED LIGHTING FIXTURES
SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM
OF 75 PERCENT OF THE PERMANENTLY INSTALLED
LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH
EFFICACY LAMPS.

SEE ELEVATION

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REVISION 8

REVISION 9
REVISION 10

REVISION I I
FINAL I 0/7/24

All changes after above date will be done according to F.F.H. Change Order Policy

Signature

Homeowner

Agent:

Plan: THE MINNEHAHA

Total Foundation: 1648

House Foundation: 1 190

Finished: 1725 Unfinished: 1190

Scale: 1/4" = 1'-0"

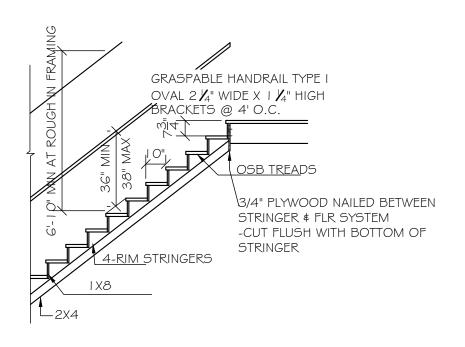
Fin Sq Ft:

WALKOUT

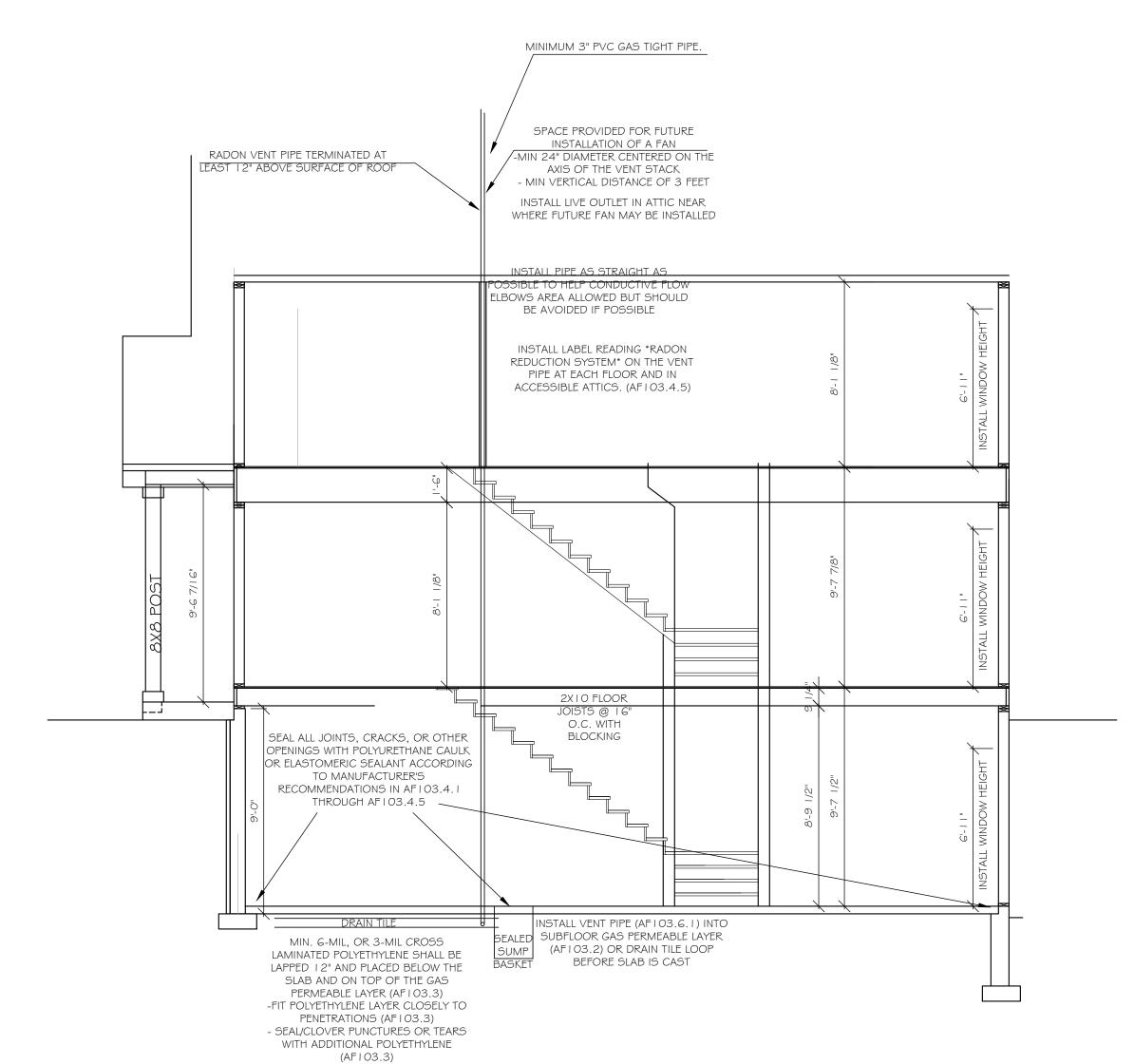
FOOTINGS @ 42" MIN.

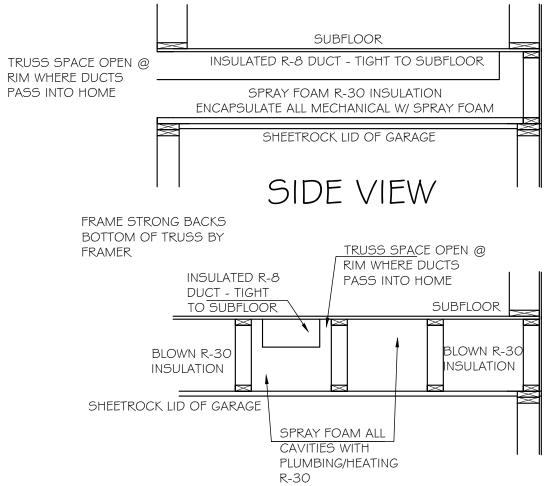
BELOW GRADE

EXTERIOR
GARAGE WALL



# INTERIOR STAIR DETAIL





DUCT WORK GARAGE

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CLIENT: Project:

LOCATION: LOT\_BLK\_

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REVISION 1 I
FINAL 10/7/24

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Homeowner Signature

Agent:

Plan: THE MINNEHAHA

Total Foundation: 1648

House Foundation: 1 190

Finished: 1725 Unfinished: 1190

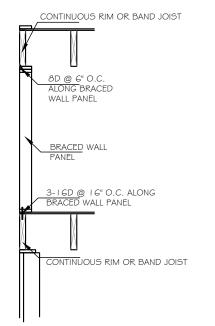
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Fin Sq Ft:

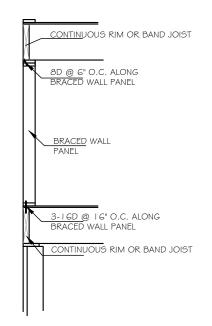
DETAILS

7

## BRACE WALL PANELS: CS WSP NOT TO SCALE



### PARALLEL FRAMING

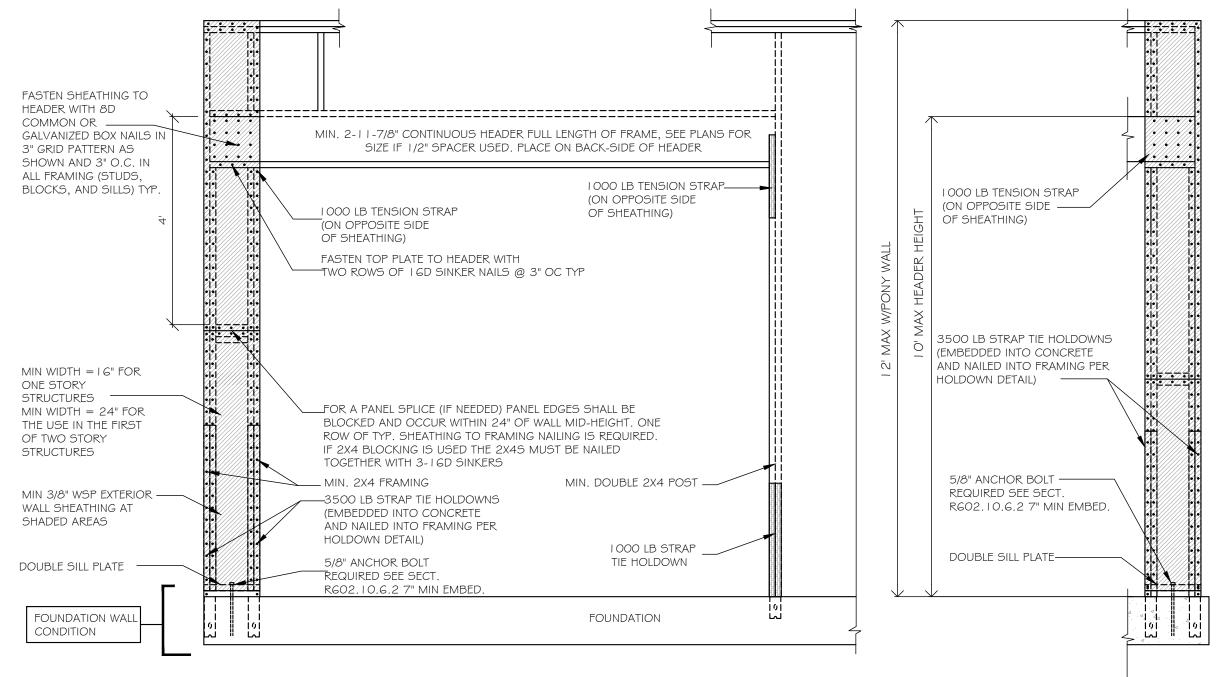


### PERPENDICULAR FRAMING

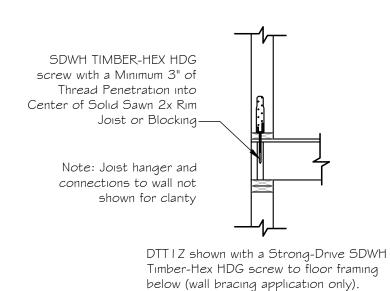
=BRACED WALL PANEL

EXTENT OF HEADER WITH DOUBLE PORTAL FRAMES (TWO BRACED WALL PANELS)

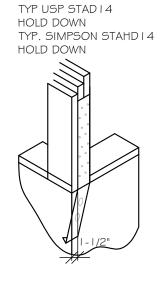
EXTENT OF HEADER WITH SINGLE PORTAL FRAME (ONE BRACED WALL PANEL)



### PORTAL WALL FRAMING DETAIL FOR GARAGE



DTT I Z HOLD DOWN FOR WIND BRACING



HOLD DOWN DETAIL

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CLIENT: Project:

LOCATION:

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Street
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JOB #:

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REVISION 9
REVISION 10

All changes after above date will be done according to F.F.H.
Change Order Policy

0/7/24

Homeowner Signature

REVISION I I

FINAL

Agent:

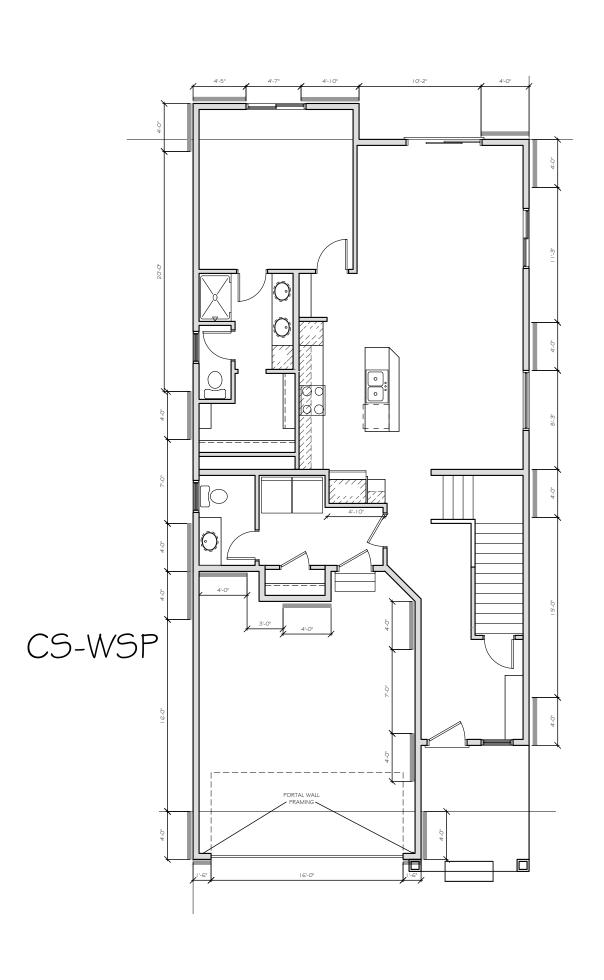
Plan: THE MINNEHAHA

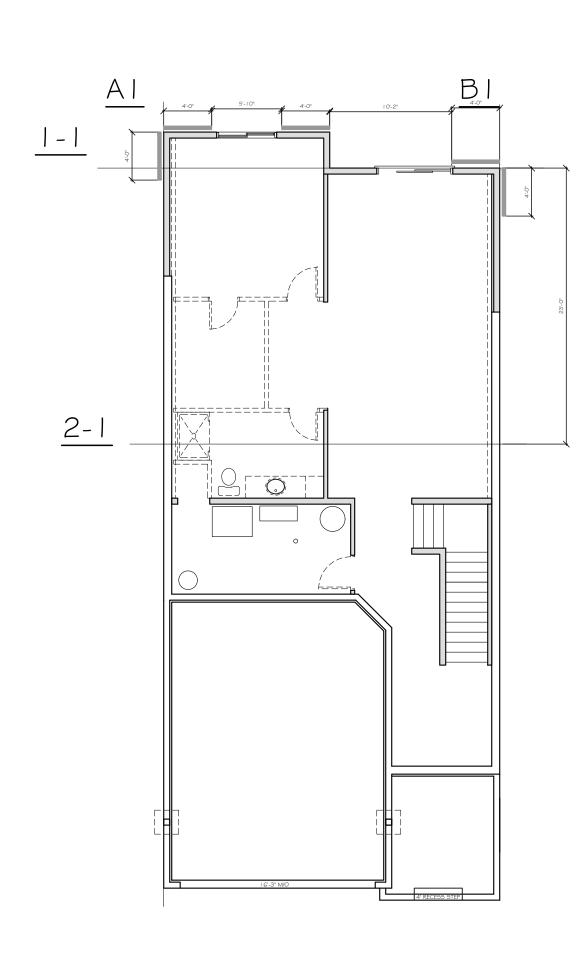
Total Foundation: 1648
House Foundation: 1190

Finished: 1725 Unfinished: 1190

Scale: 1/4" = 1'-0"

Fin Sq Ft:





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CLIENT: Project:

LOCATION: LOT\_BLK\_

DEVELOPMENT
Street

CITY MN JOB #:

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REVISION 10

REVISION 1 1

FINAL 10/7/24

All changes after above

date will be done according to F.F.H.
Change Order Policy
Homeowner

Signature

Agent:

Plan: THE MINNEHAHA

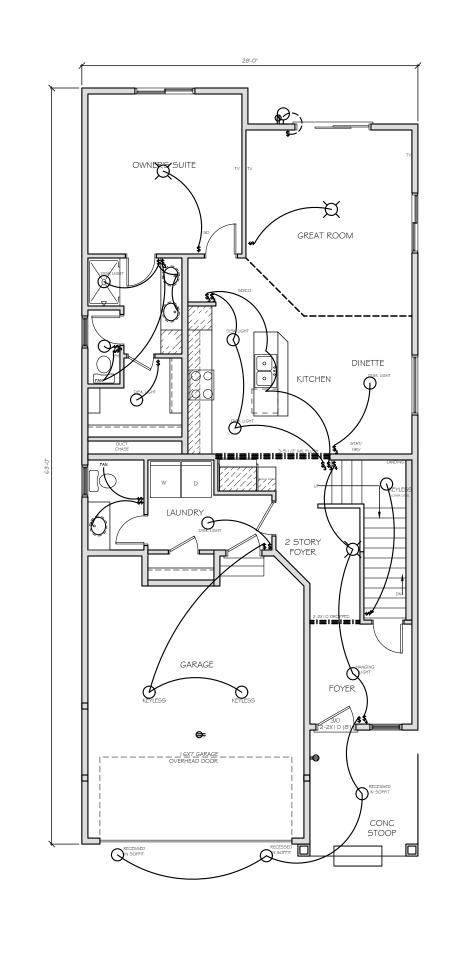
Total Foundation: 1648
House Foundation: 1190

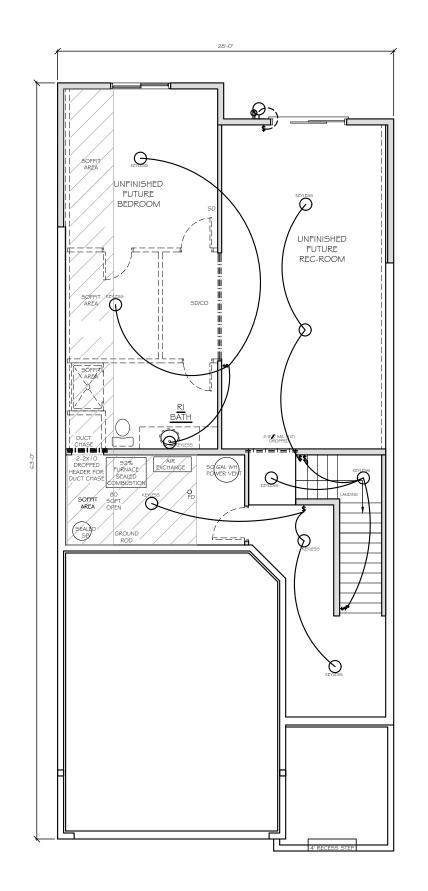
Finished: 1725

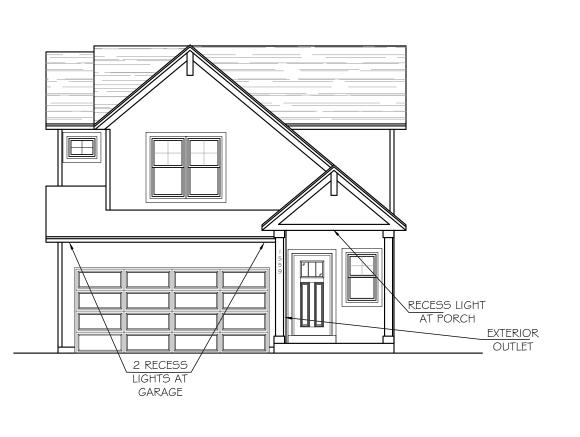
Unfinished: 1190

Scale: 1/8" = 1'-0"

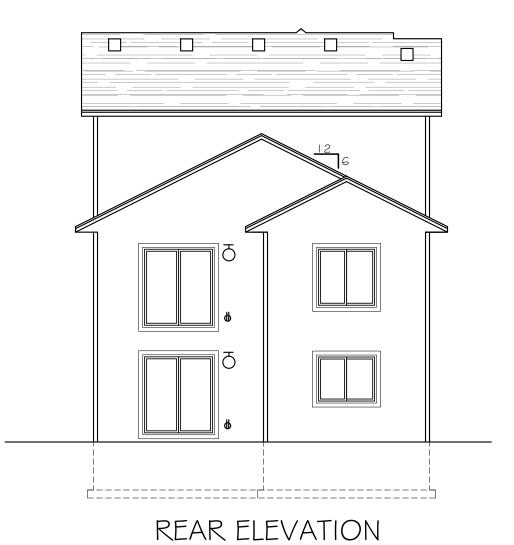
Fın Sq Ft:







EDONIT ELEVINATION



DRYER VENT AC

GAS
METER
3'
CLEAR

CLEAR

LEFT ELEVATION

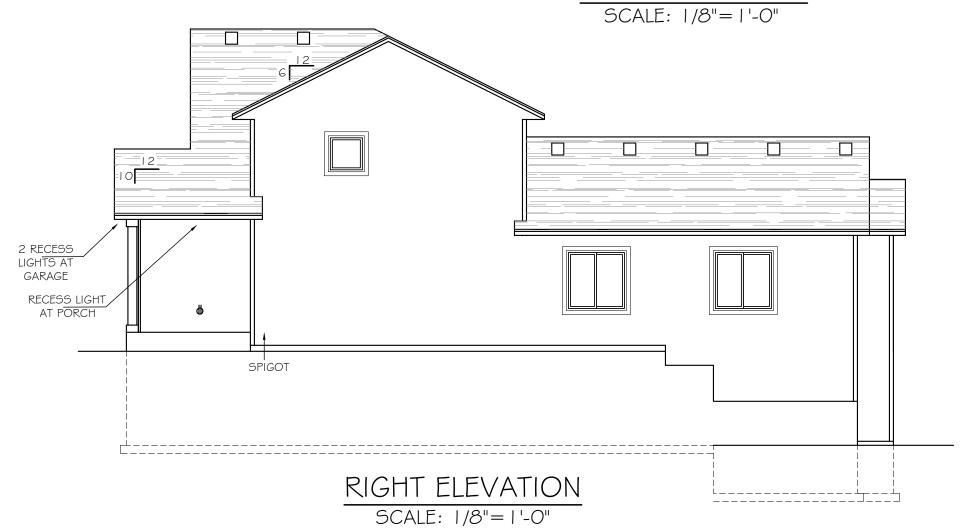
SCALE: 1/8"=1'-0"

BEDROOM 2

BEDROOM I

DISKLIGHT

OPEN TO FOYER BELOW



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REVISION 8

REVISION 9

REVISION 10

REVISION 11

FINAL 10/7/24

All changes after above date will be done according to F.F.H.
Change Order Policy

Homeowner Signature

Agent:

Plan: THE MINNEHAHA

Total Foundation: 1648

House Foundation: | | 90

Finished: 1725 Unfinished: 1190

Scale: 1/8" = 1'-0"

Fın Sq Ft:

ELECTRICAL PLAN

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