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MN LIC: BCG31164
WI LIC: DC-070800080

CLIENT:
Project:

LOCATION:
LOT _ BLK_ DEVELOPMENT
Street
CITY
MN ZIP
JOB #:

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	10/7/24

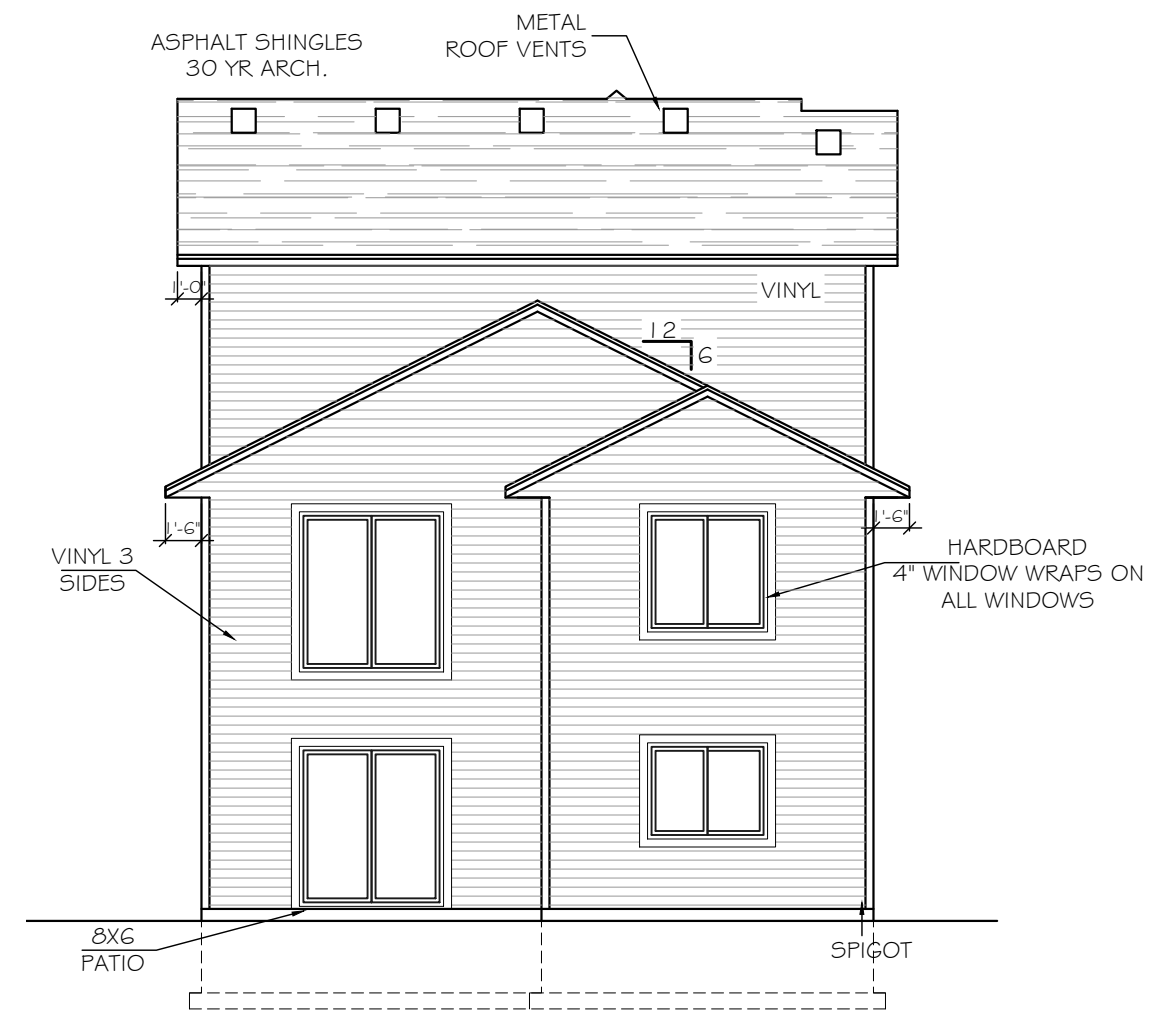
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Homeowner Signature

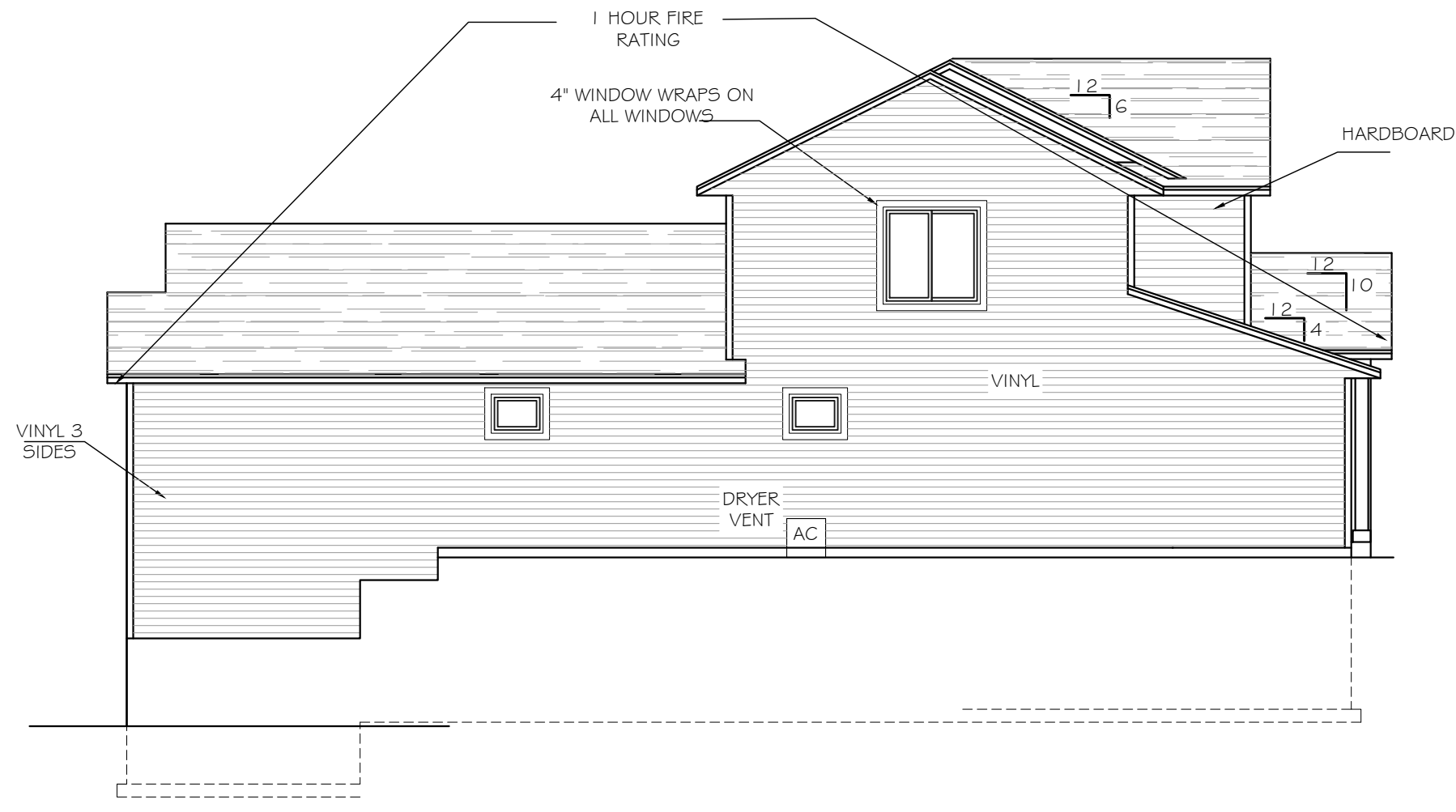
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Plan: THE MINNEHAHA
Total Foundation: 1648
House Foundation: 1190
Finished: 1725
Unfinished: 1190

Scale: 1/8" = 1'-0"

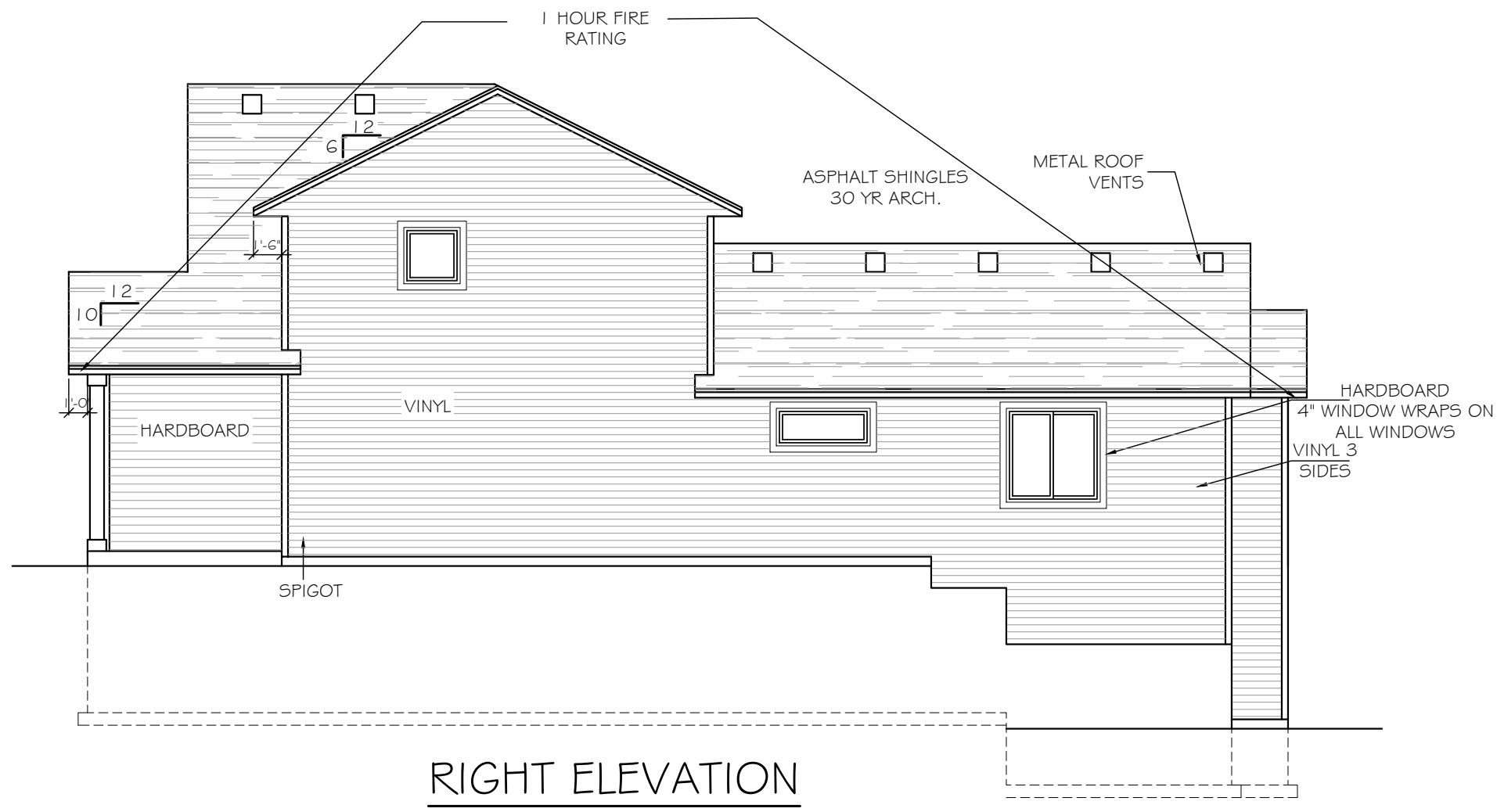
Fin Sq Ft: 1725



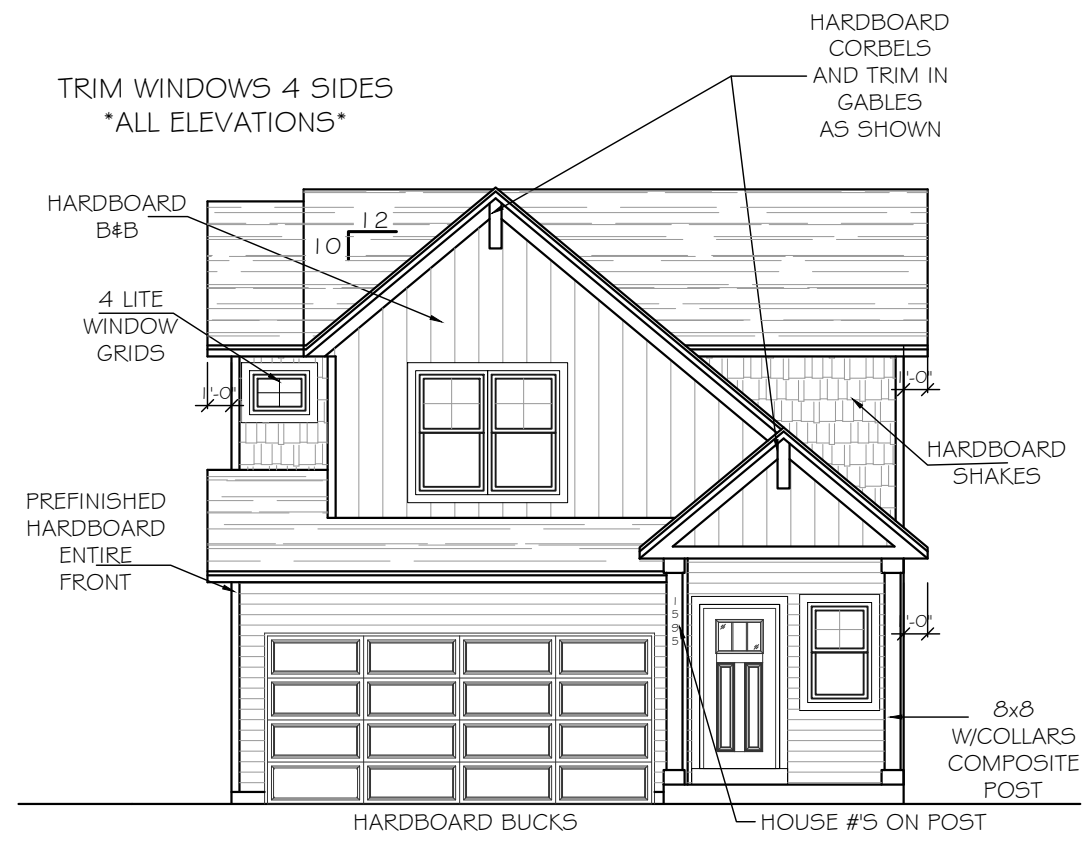
REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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REVISION 10

REVISION 11

FINAL 10/7/24

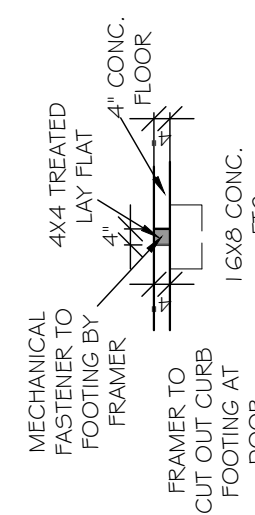
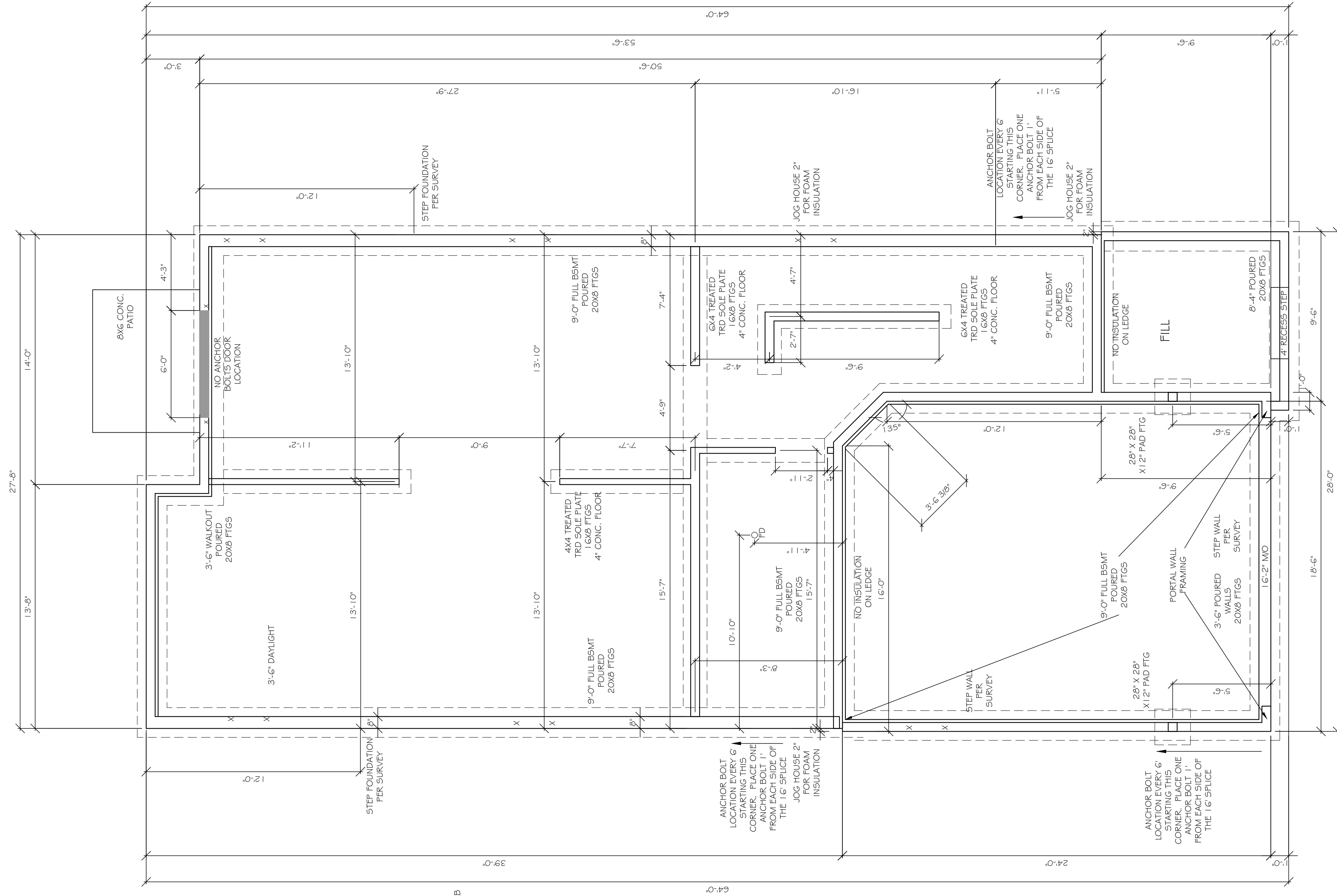
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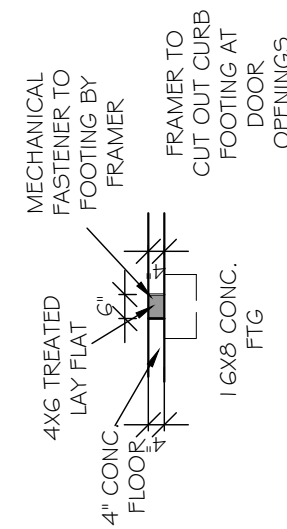
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FRAMER NOTE:
INTERIOR CURB DETAIL FOR 2X4 BEARING WALL



FRAMER NOTE:
INTERIOR CURB DETAIL FOR 2X6 BEARING WALL

*ANCHOR BOLTS PLACED ACCORDING TO IRC SECTION 404-R.404.1 (3) TABLE R404.1(1)

DOUBLES AT 16' PLATE SPLICES SO BOLT @ 15' & 17'

ANCHOR BOLTS CENTER ON WALL WITH FOAM

ANCHOR BOLTS 1 3/4\"/>

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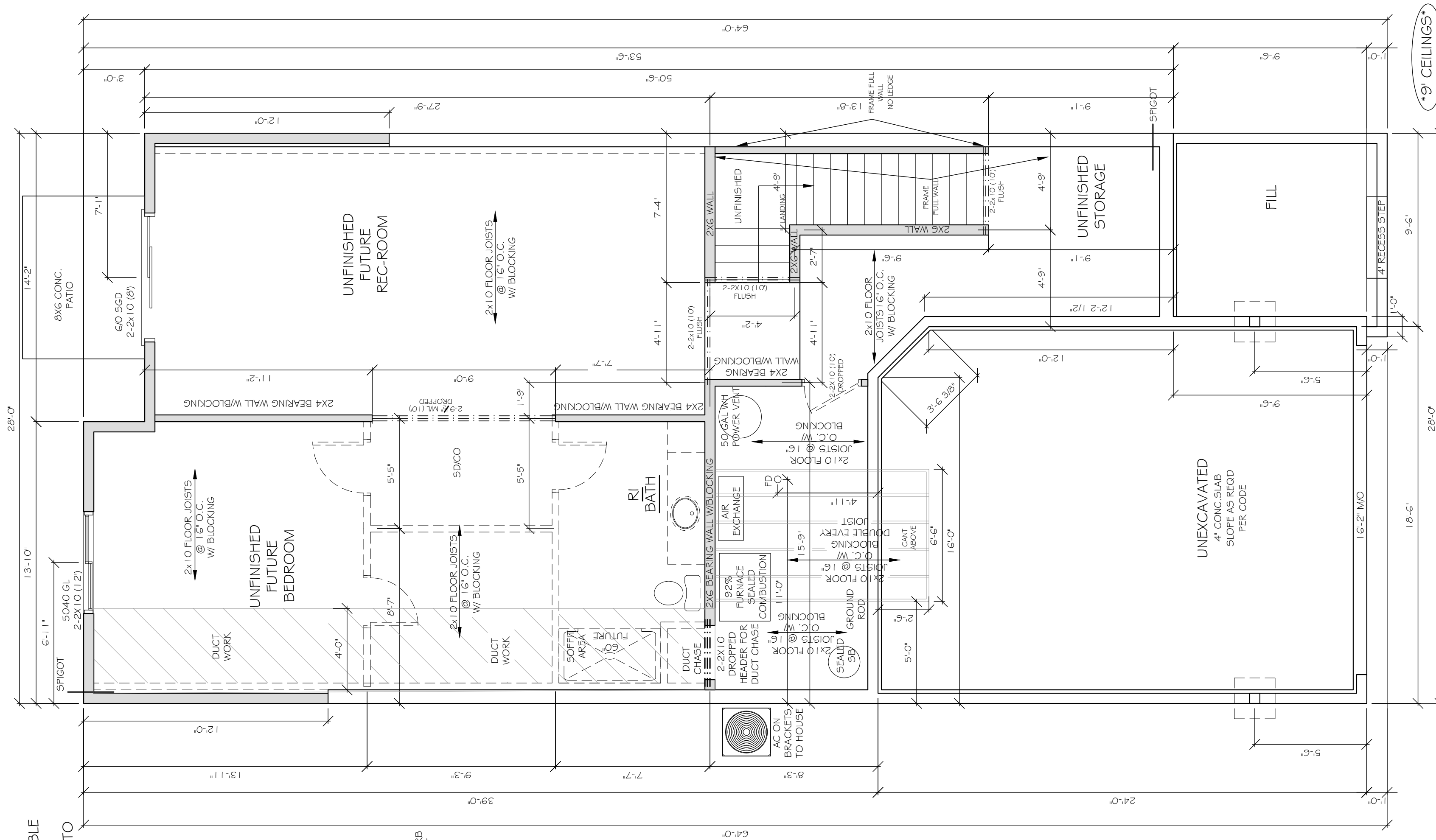
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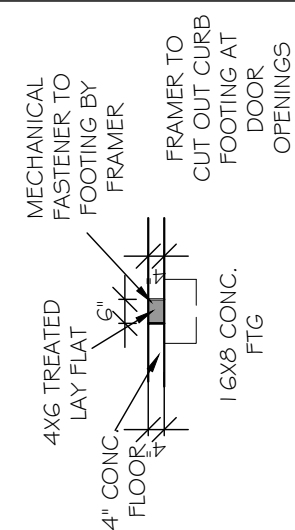
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FRAMER NOTES:
 -ALL WINDOWS/DOOR TO HAVE DOUBLE JACK STUDS
 -WINDOWS/DOORS LARGER THAN 8' TO HAVE DOUBLE KING STUDS



FRAMER NOTE:
 INTERIOR CURB DETAIL FOR 2X6 BEARING WALL

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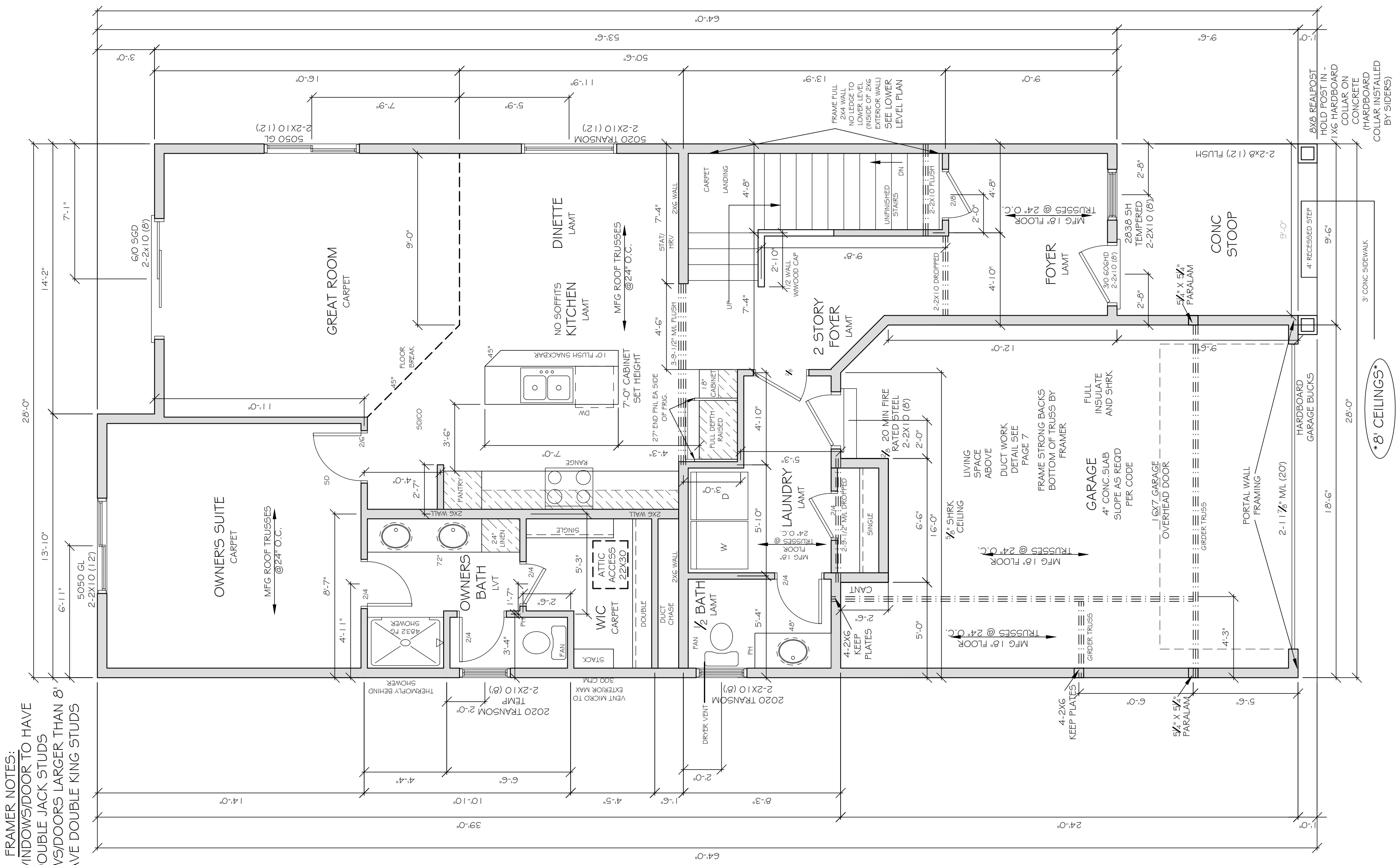
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FRAMER NOTES:
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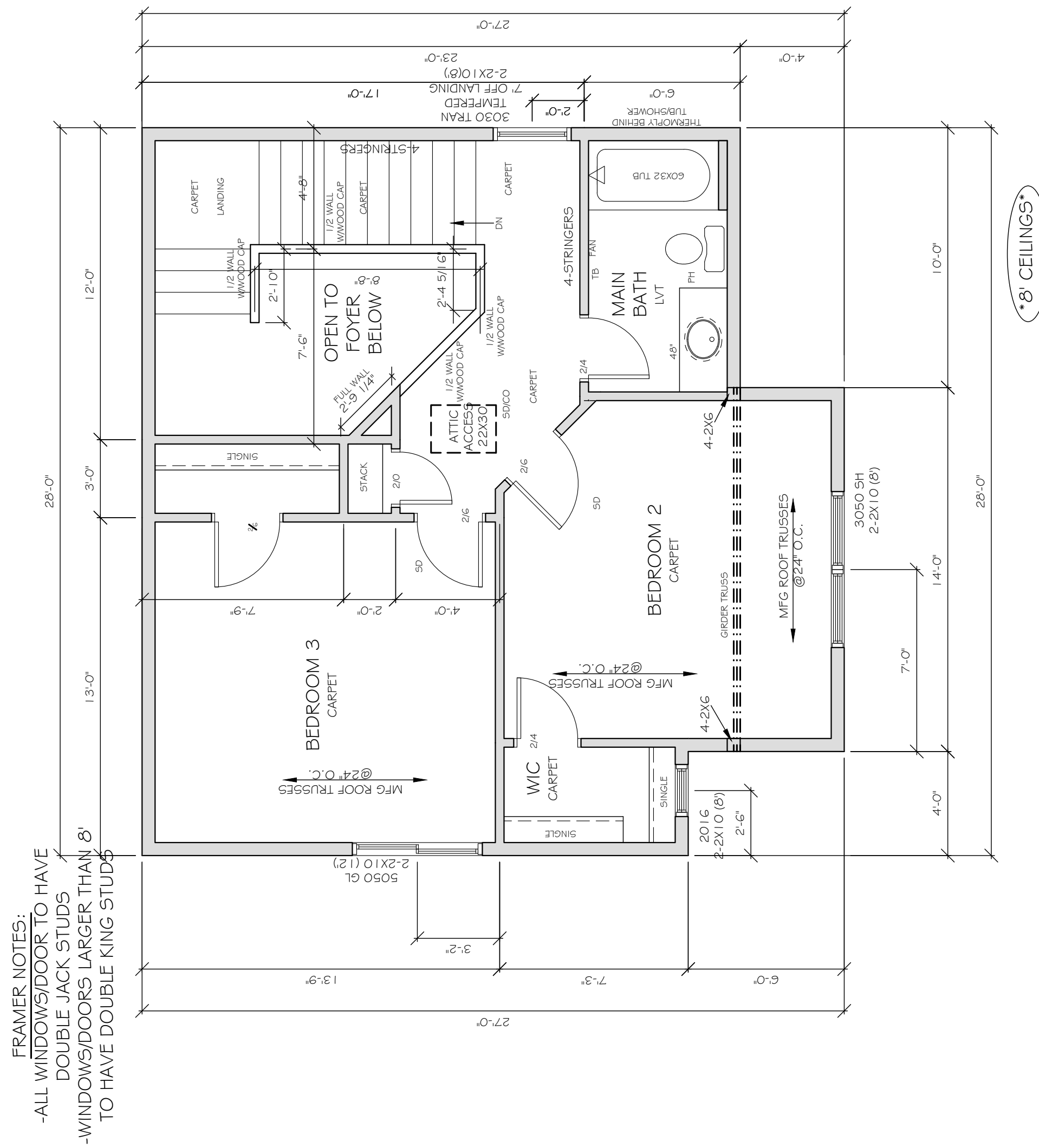
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Signature

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Scale: 1/4" = 1'-0"

Fin Sq Ft: 520



**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/800TH ROOF 1/2 IN SOFFIT
 1/2 IN ROOF NEAR RIDGE
 FLASH ABOVE ALL EXTERIOR OPENINGS
 SHINGLES PER ELEVATION/SPECS.
 15# FELT
 1/2" ROOF SHEATHING
 RIDGE # BOX ROOF VENTS
 1" AIR SPACE

R-50 INSULATION
 OSB ROOF SHEATHING
 6'-0" ICE AND WATER SHEILD
 MFG. TRUSSES @ 24" O.C.
 7/8" ENERGY HEEL

RT7 TRUSS TIE DOWN BY USP
 CONNECTIONS OR EQUAL
 RIGID WIND WASH
 METAL DRIP EDGE
 2X6 # ALUMINUM FACIA

VENTED ALUMINUM SOFFIT
 4" MIL VAPOR BARRIER WARM
 SIDE OF ALL WALLS AND CEILINGS
 1/2" GYP BD.

EXTERIOR WALL SHEATHING
 3/4" T # G GLUED OSB SINGLE
 LAYER FLOOR SYSTEM

R20 SPRAY
 FOAM
 18" MFG. TRUSS @ 24" O.C.

SIDING PER
 ELEVATION
 AIR INFILTRATION BARRIER
 ALL EXTERIOR WALLS
 2X6 @ 16" O.C.

R-20 INSULATION
 R20 SPRAY
 FOAM

2X6 BASEMENT
 EXTERIOR WALL
 FRAMING

2X10 FLOOR JOISTS @ 16"
 O.C.
 W/ BLOCKING

TYPICAL ANCHORING
 1/2" X 12" ANCHOR BOLT OR STRAP
 6'-0" O.C. @ WALL RUNS
 12" O.C. @ WALL ENDS
 CORE FILL TOP 2 COURSES

2X6 TRD BOTTOM
 PLATE
 SCUFF COAT INSULATION

GRADE
 PASSIVE RADON
 SYSTEM AS REQUIRED
 W/ WASHED ROCK

R-10 INSULATION AT
 WALKOUT TRENCH
 3'-6" POURED CONC. WALL

DRAIN TILE AS REQUIRED
 20" X 8" FOOTING

NO PLATE OVERHANG
 AT WALK-OUT ONLY

HOUSE WRAP
 INSTALLED BY
 FRAMER

R-10 INSULATION

4" CONC. SLAB REF. AS REQ. ON
 6" MIL SEALED MOISTURE BARRIER
 ON 6" COMPACTED GRANULAR FILL

GARAGE AND DAYLIGHT
 FOOTINGS @ 42" MIN.
 BELOW GRADE

WALKOUT

ALL STRUCTURAL LUMBER
 2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER
 ALL 2X4 AND 2X6 STUDS WILL BE WESTERN
 WHITES NO. 2 OR BETTER

WINDOWS ARE MAXIMUM OF .30
 U-VALUE WITH MAXIMUM SHGC .29
 WINDOW FALL PROTECTION PER
 R312.2.1 AND R312.2.2
 PATIO DOORS .30U AND .26 SHGC
 ALL STEEL DOORS .19U

**NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY
 INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION
 W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS
 REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE
 DIRECTED TO BRET JUENKE #651-463-9333

**NOTE: APPROVED VAPOR RETARDER WITH JOINTS
 LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL
 LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

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 1/2 IN ROOF NEAR RIDGE
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 1/2" ROOF SHEATHING

1" AIR SPACE
 OSB ROOF SHEATHING
 6'-0" ICE AND WATER SHEILD
 MFG. TRUSSES @ 24" O.C.
 HEEL AS NEEDED

RT7 TRUSS TIE DOWN BY USP
 CONNECTIONS OR EQUAL
 RIGID WIND WASH
 METAL DRIP EDGE
 2X6 # ALUMINUM FACIA

VENTED ALUMINUM SOFFIT
 2X6 @ 12" O.C.

EXTERIOR WALL SHEATHING
 SIDING PER
 PLAN/SPECS

AIR INFILTRATION BARRIER
 ALL EXT. WALLS
 TYPICAL ANCHORING

1/2" X 12" ANCHOR BOLT OR
 STRAP 6'-0" O.C. @ WALL
 RUNS 12" O.C. @ WALL ENDS

2X6 TRD BOTTOM PLATE
 GRADE 6" BELOW
 SHEATHING

3'-6" POURED
 FOUNDATION WALL

EXTERIOR GARAGE WALL

75% OF THE BULBS IN PERMANENTLY INSTALLED
 LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS
 REQUIREMENT APPLIES TO INDOOR AND
 OUTDOOR FIXTURES, INCLUDING ACCESSORY
 STRUCTURES AND GARAGES. HIGH EFFICACY
 BULBS ARE: 60 LUMENS/W FOR LAMPS OVER
 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO
 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

R 404.1 LIGHTING EQUIPMENT
 A MINIMUM OF 75 PERCENT OF THE LAMPS IN
 PERMANENTLY INSTALLED LIGHTING FIXTURES
 SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM
 OF 75 PERCENT OF THE PERMANENTLY INSTALLED
 LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH
 EFFICACY LAMPS.

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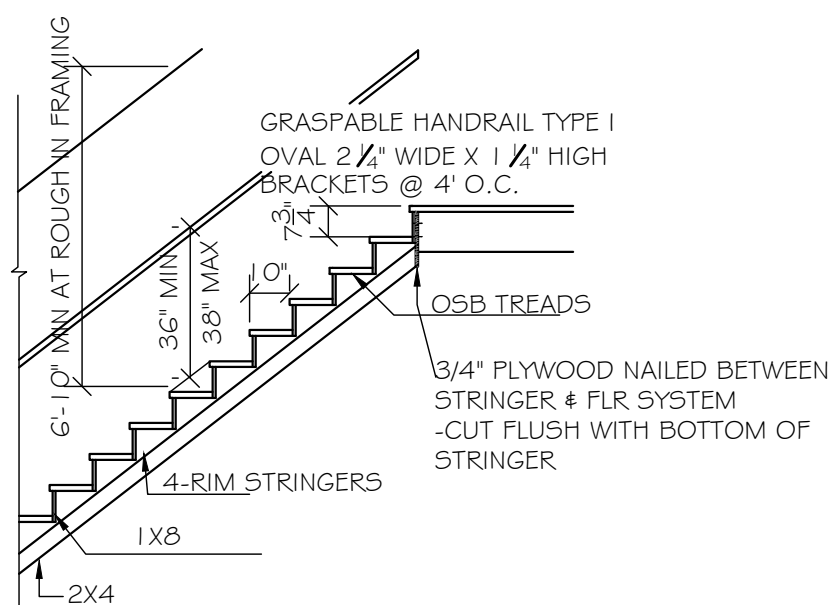
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Homeowner
 Signature

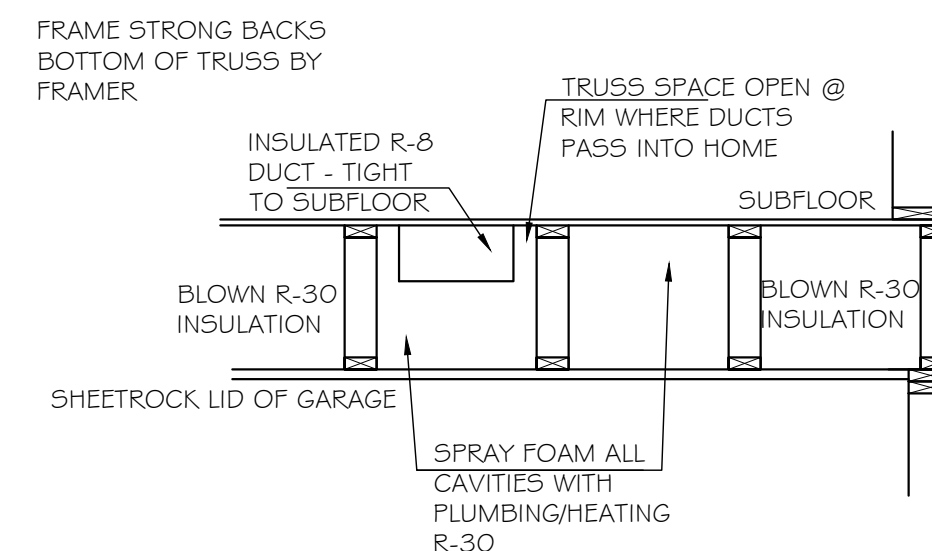
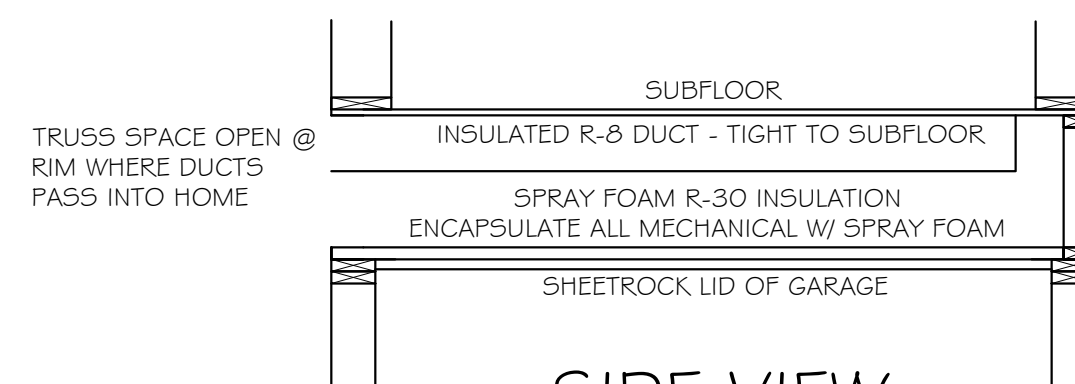
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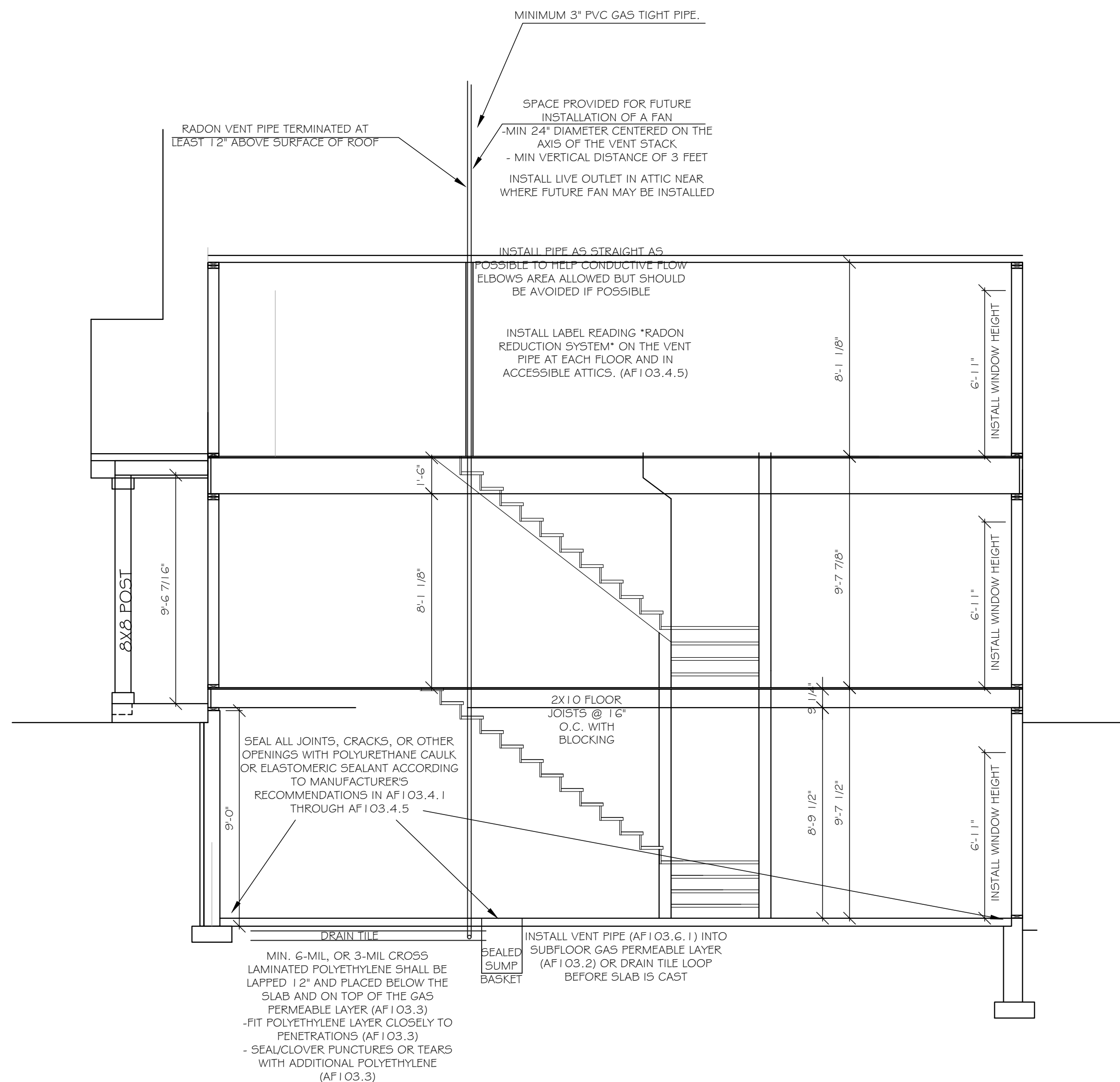
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INTERIOR STAIR DETAIL



DUCT WORK GARAGE



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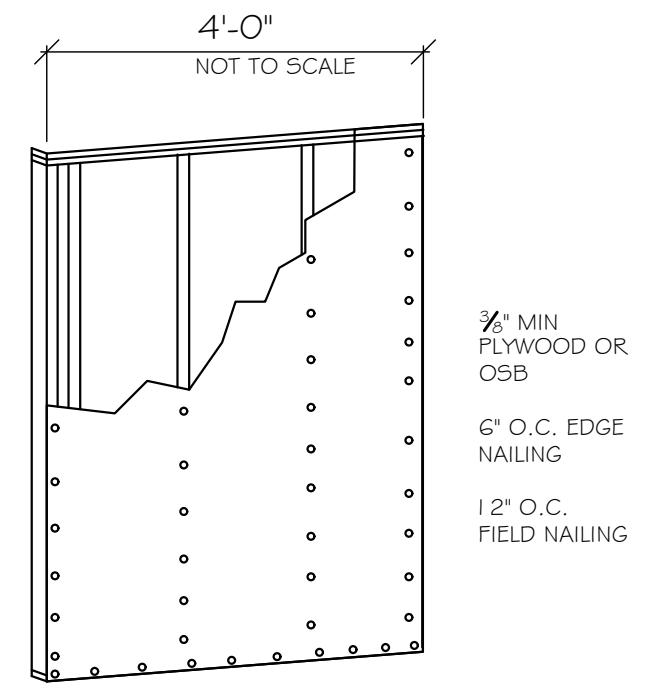
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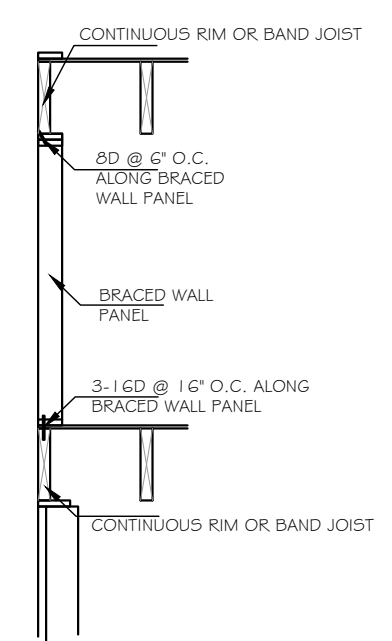
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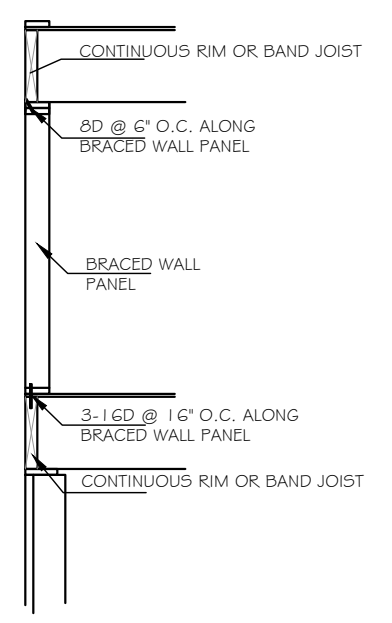
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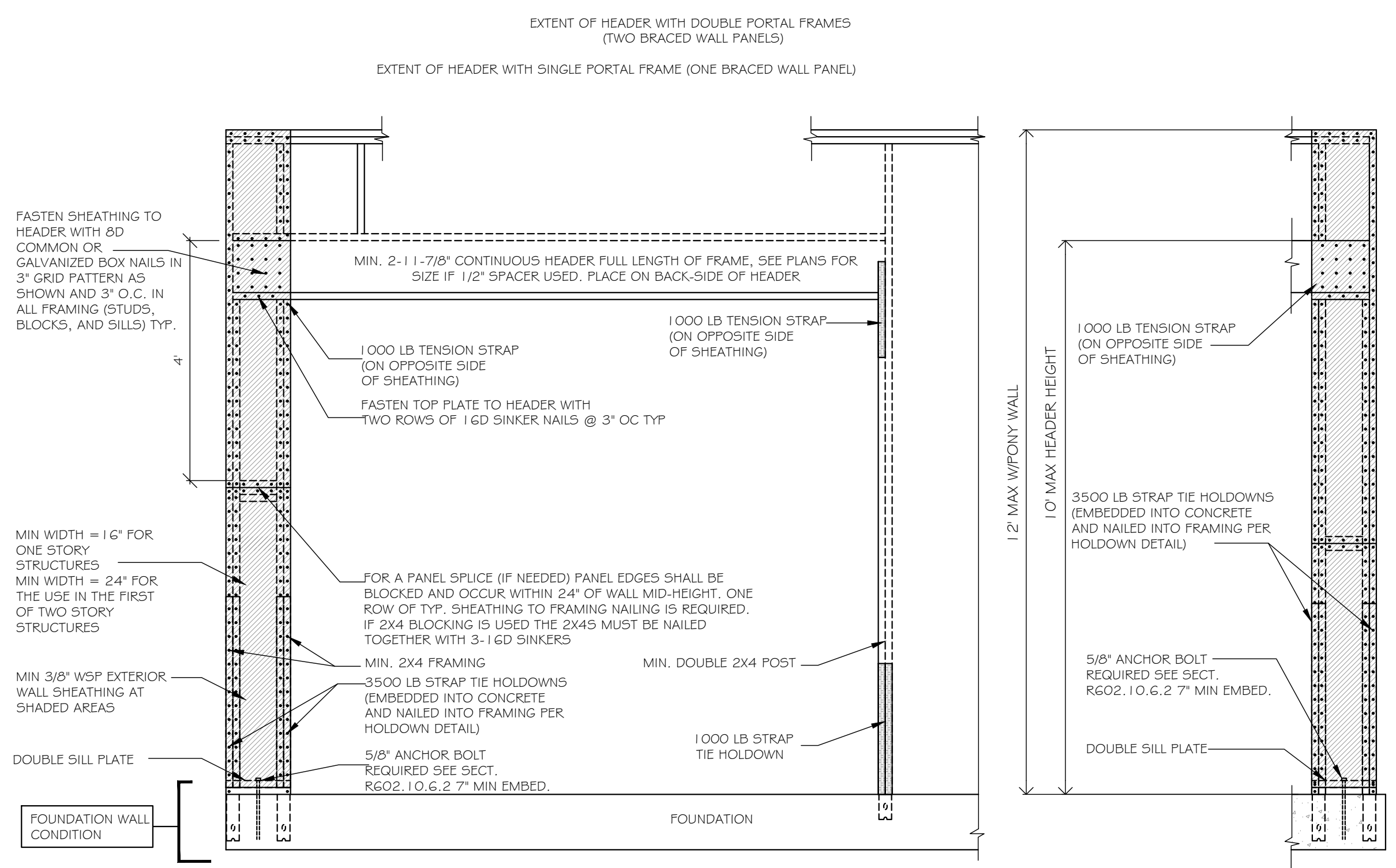
BRACE WALL PANELS: CS WSP
NOT TO SCALE



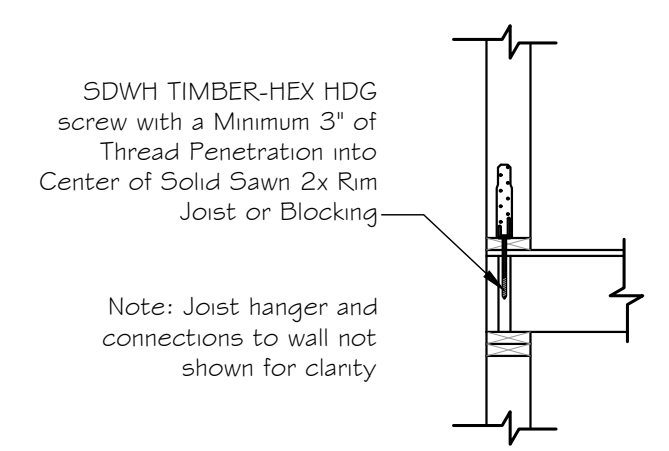
PARALLEL FRAMING



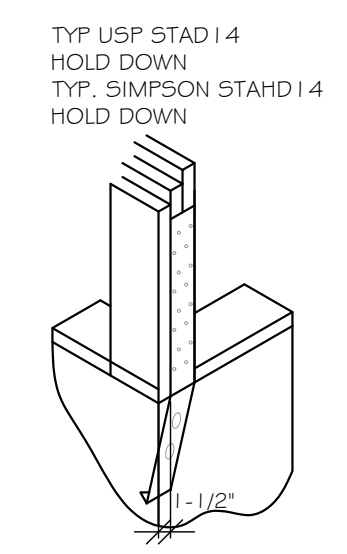
PERPENDICULAR FRAMING
 = BRACED WALL PANEL



PORTAL WALL FRAMING DETAIL FOR GARAGE



DTT I Z HOLD DOWN FOR WIND BRACING



HOLD DOWN DETAIL

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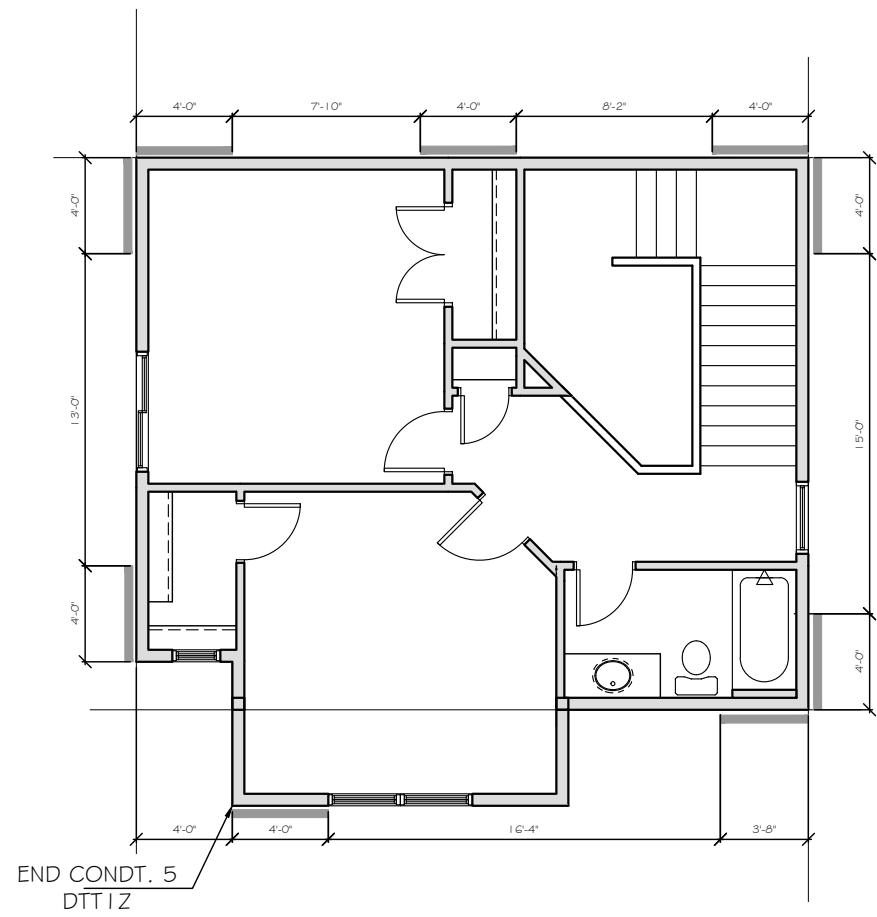
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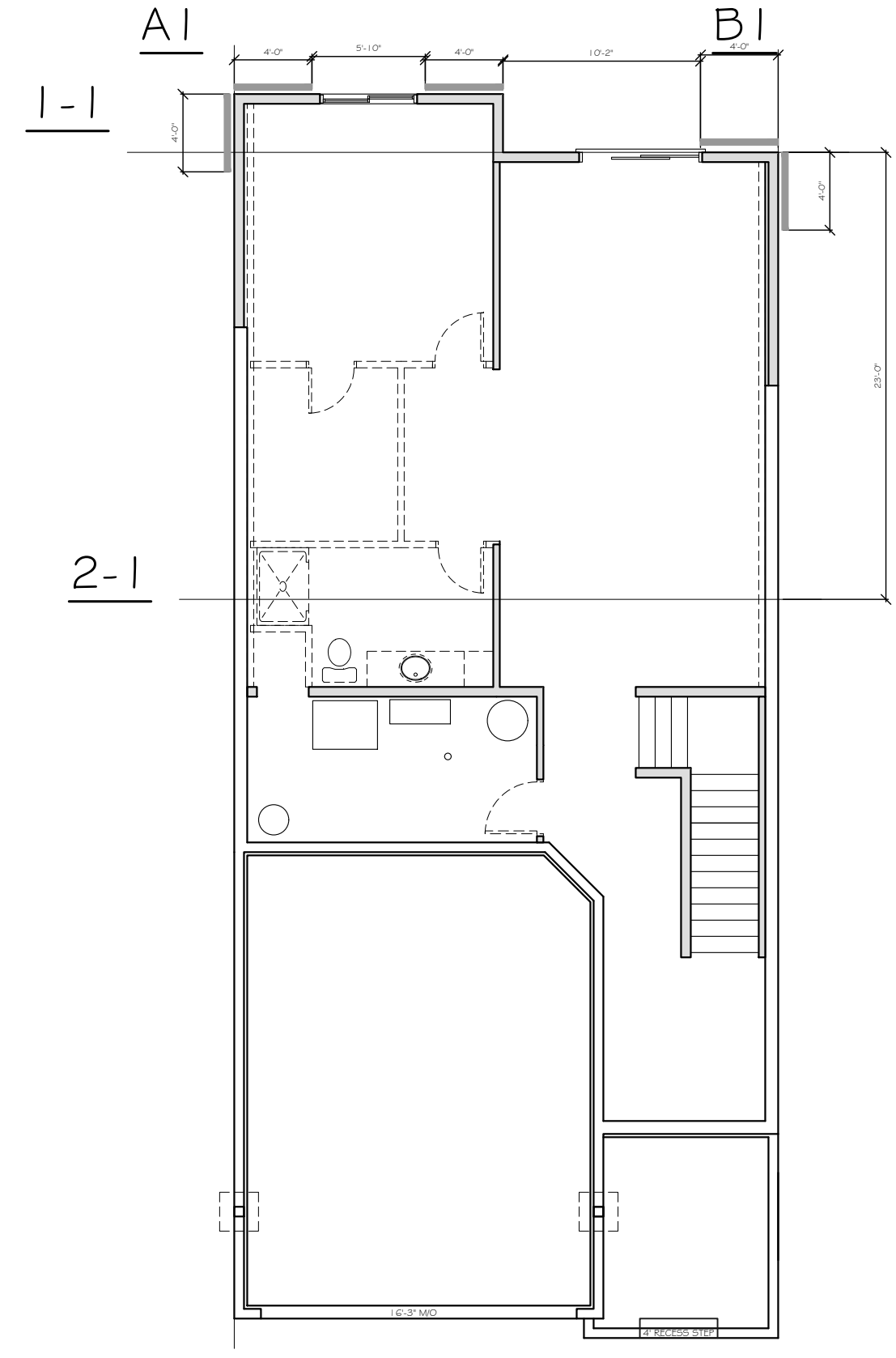
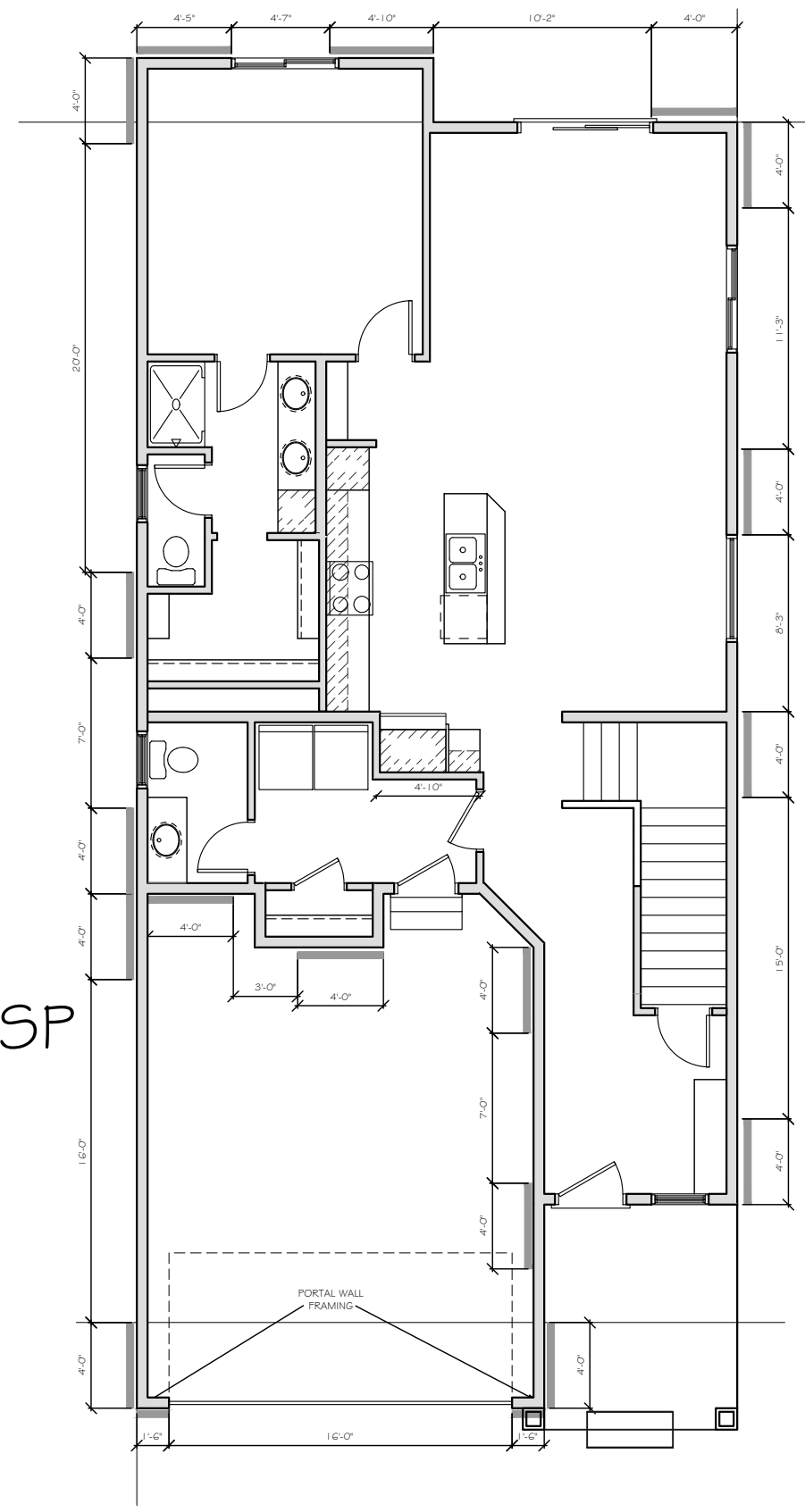
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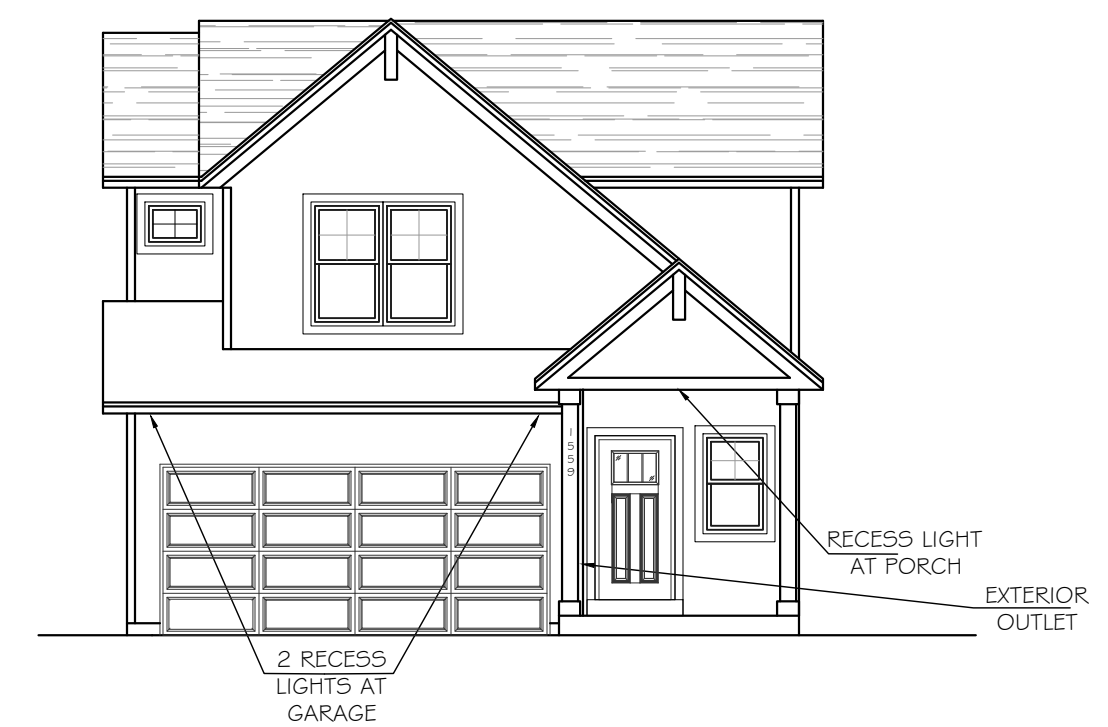
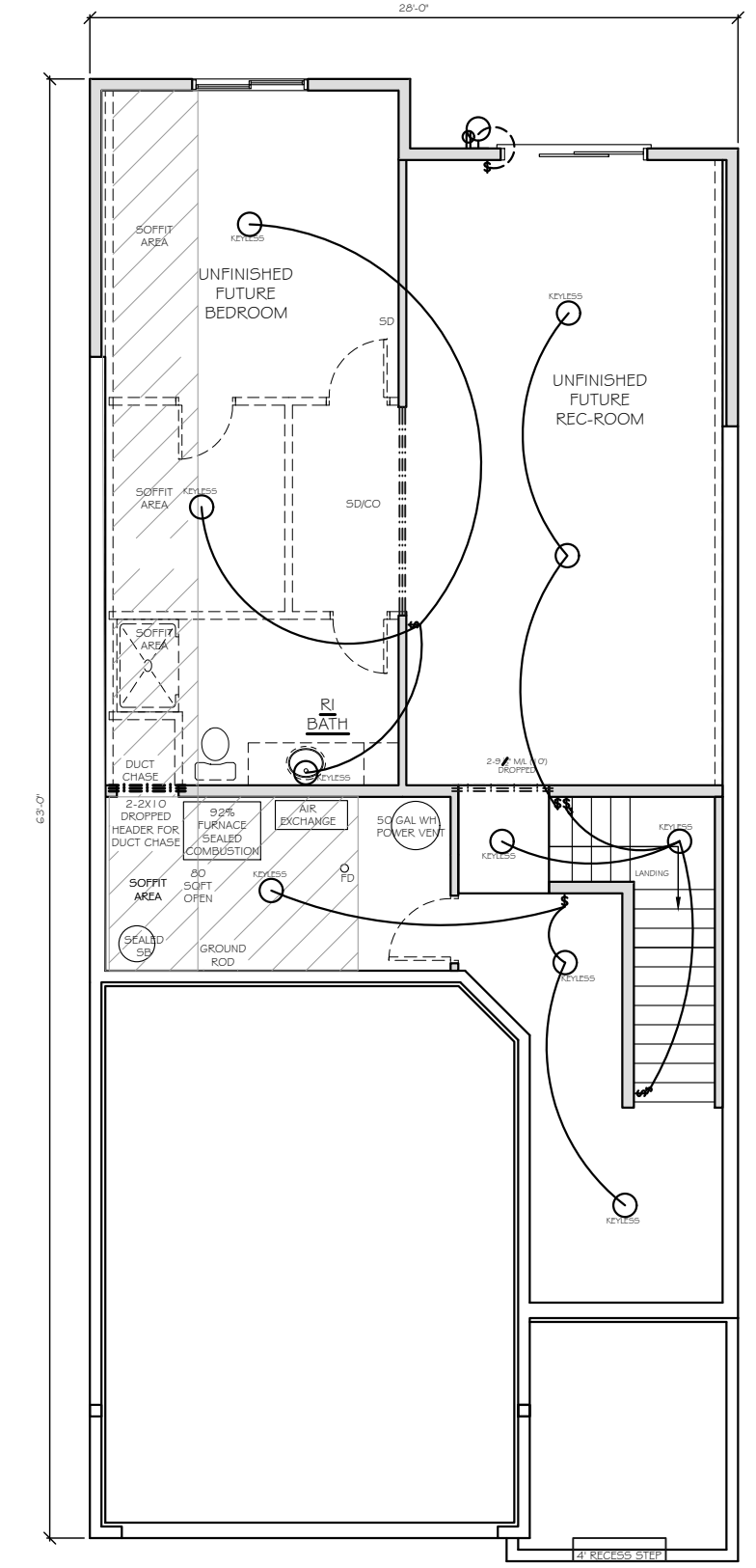
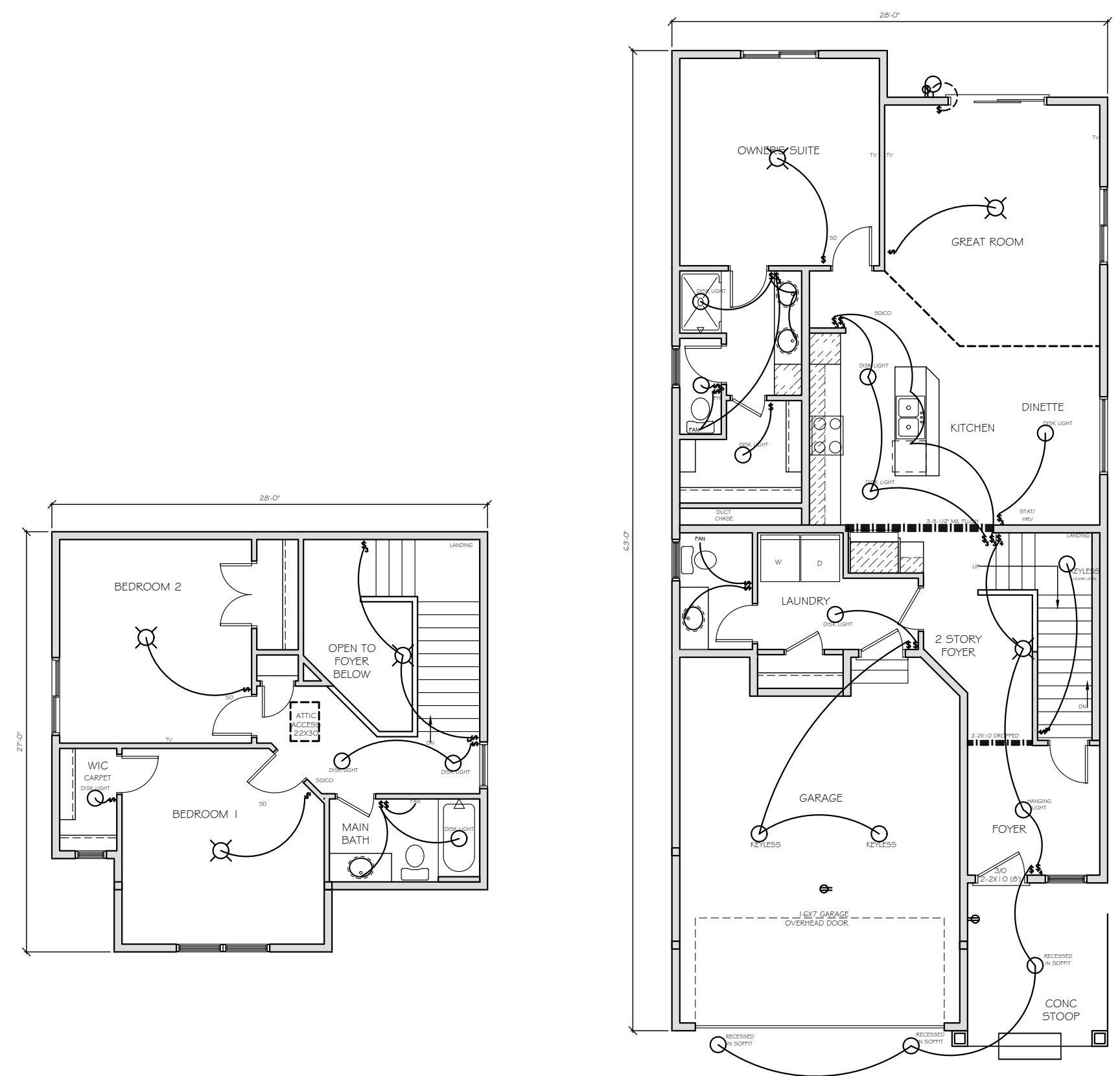
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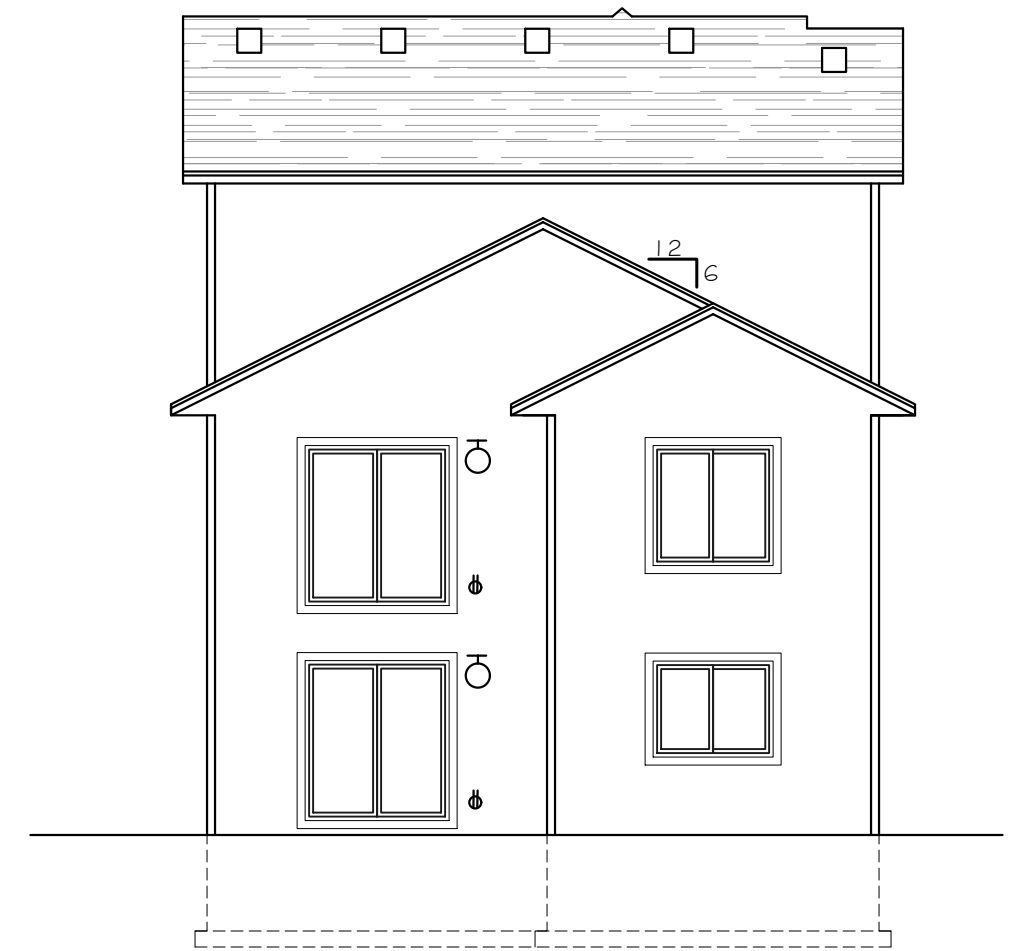
CS-WSP



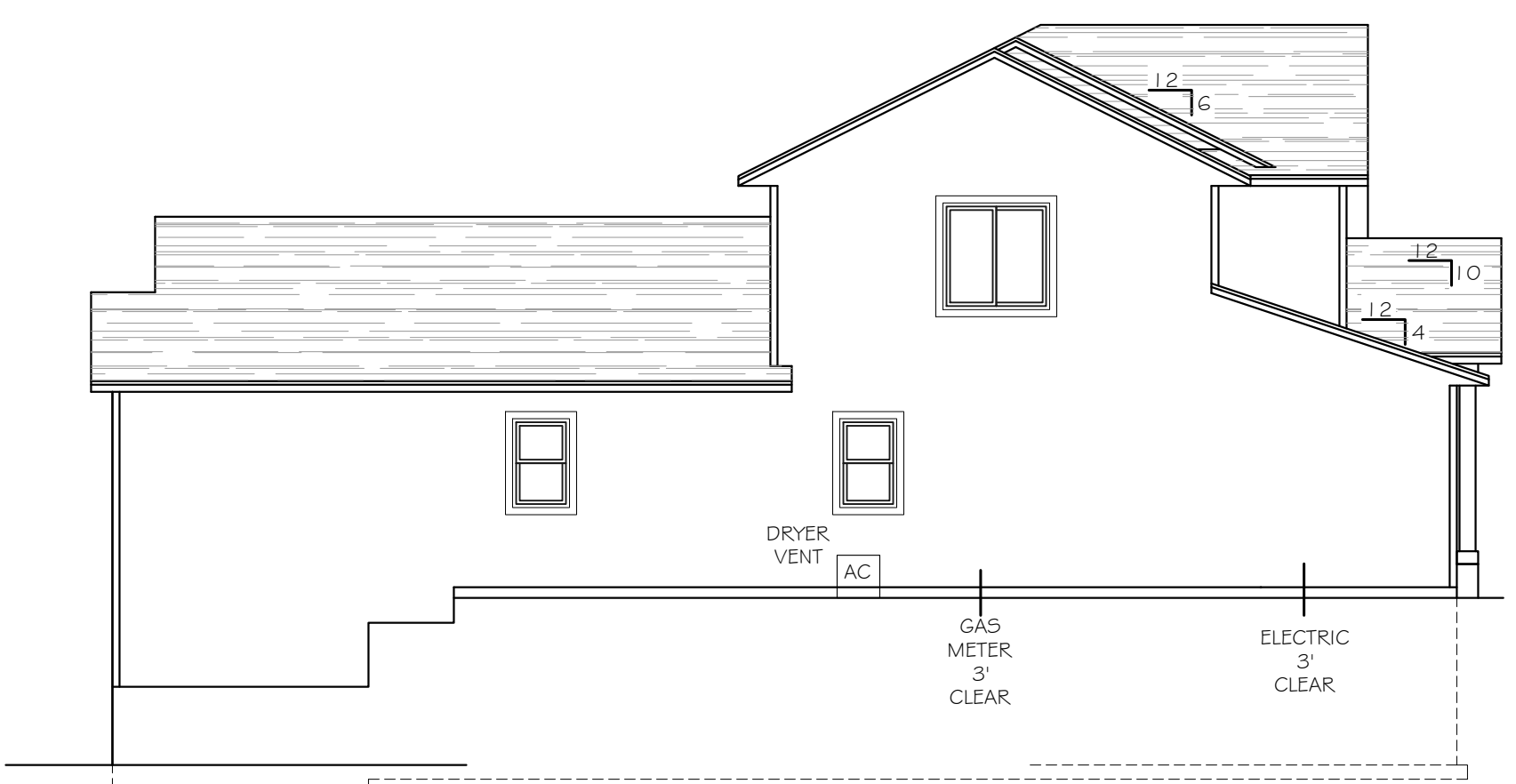
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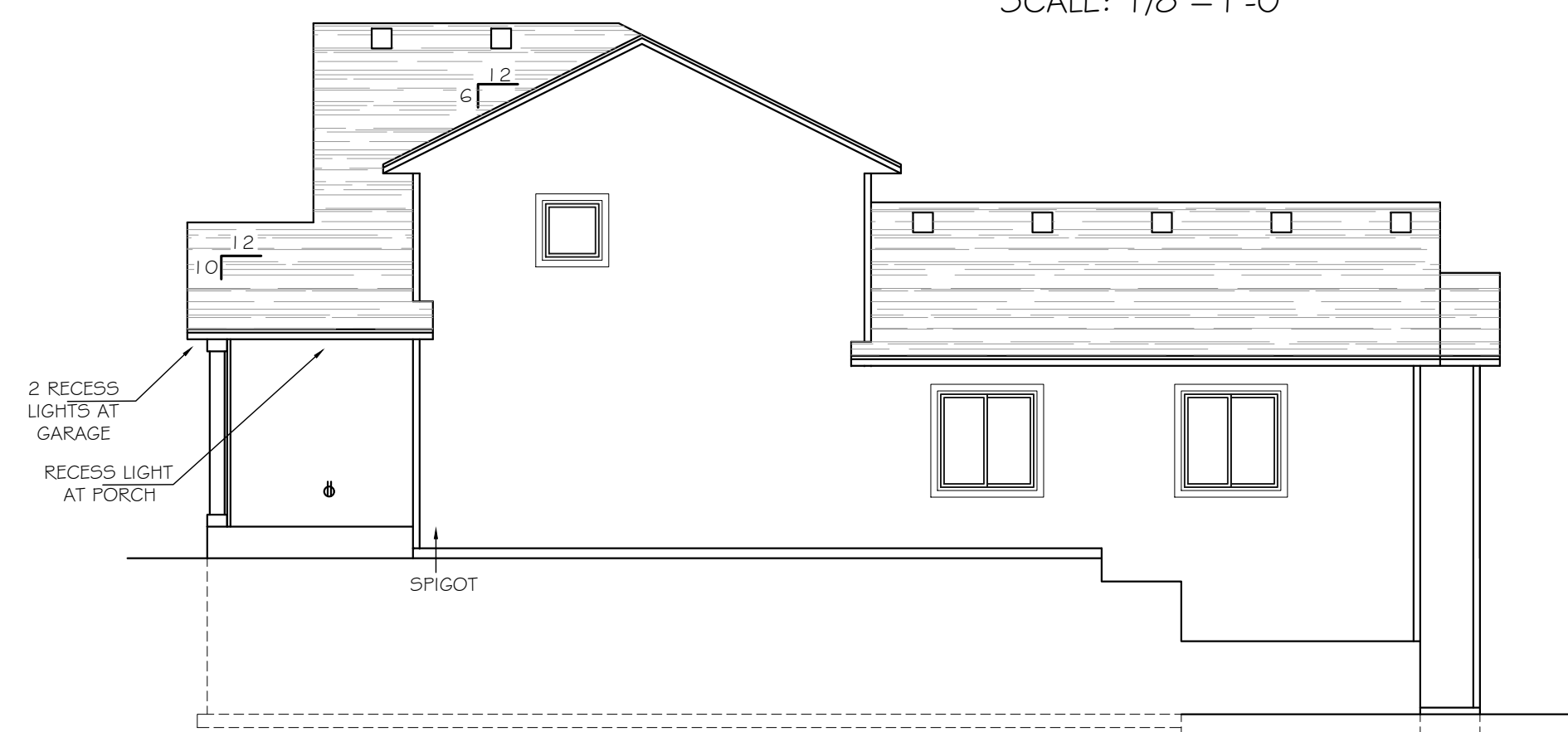
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