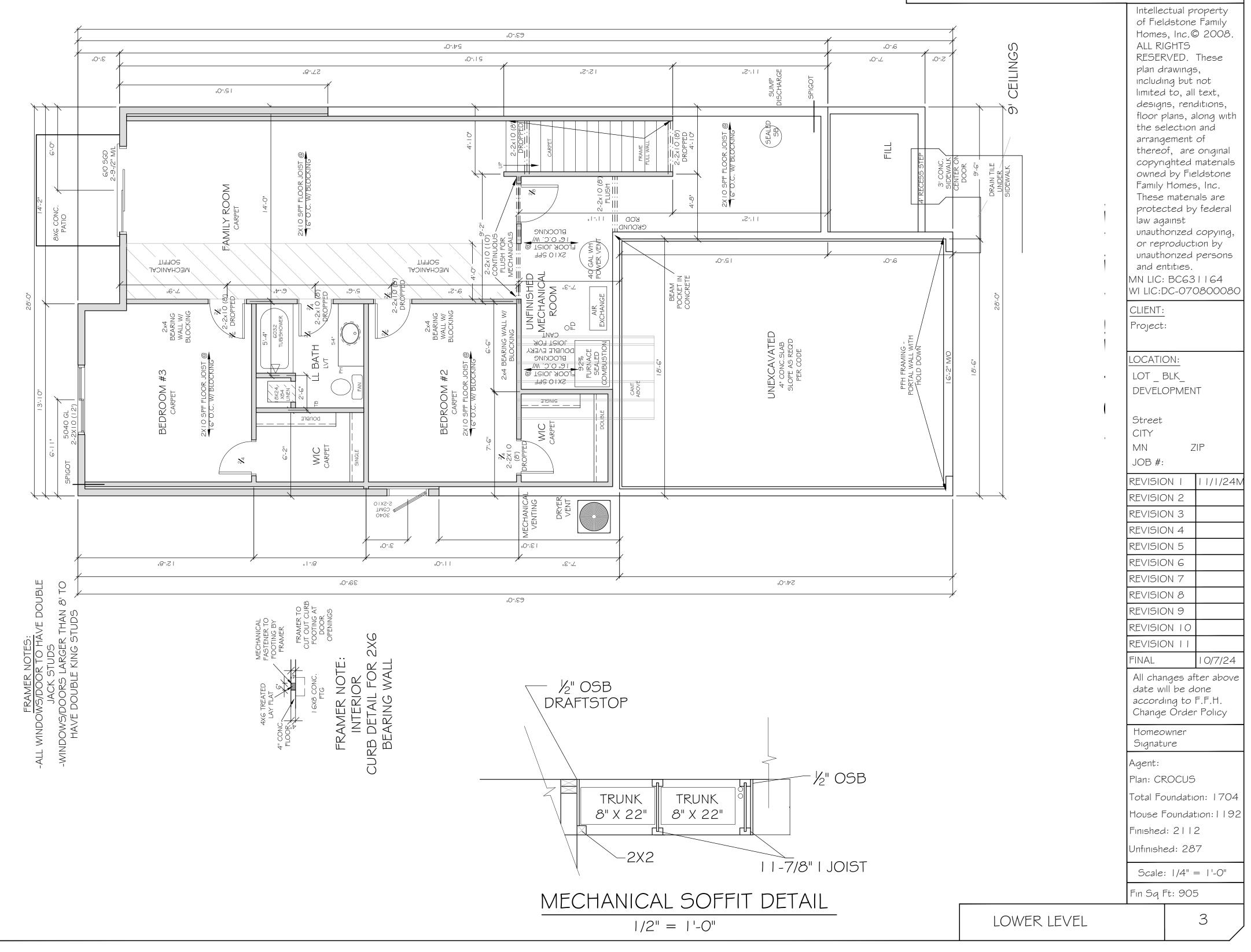
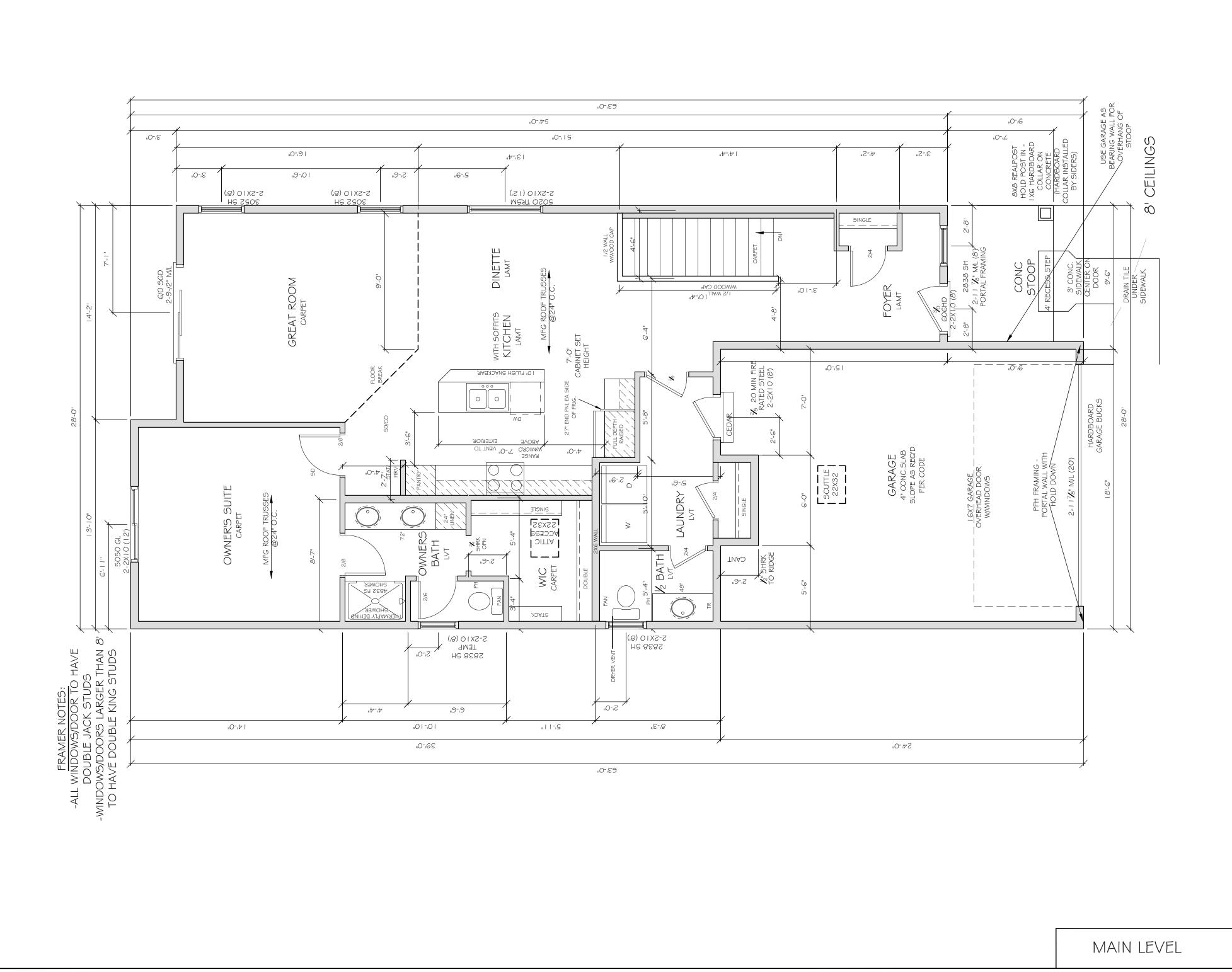
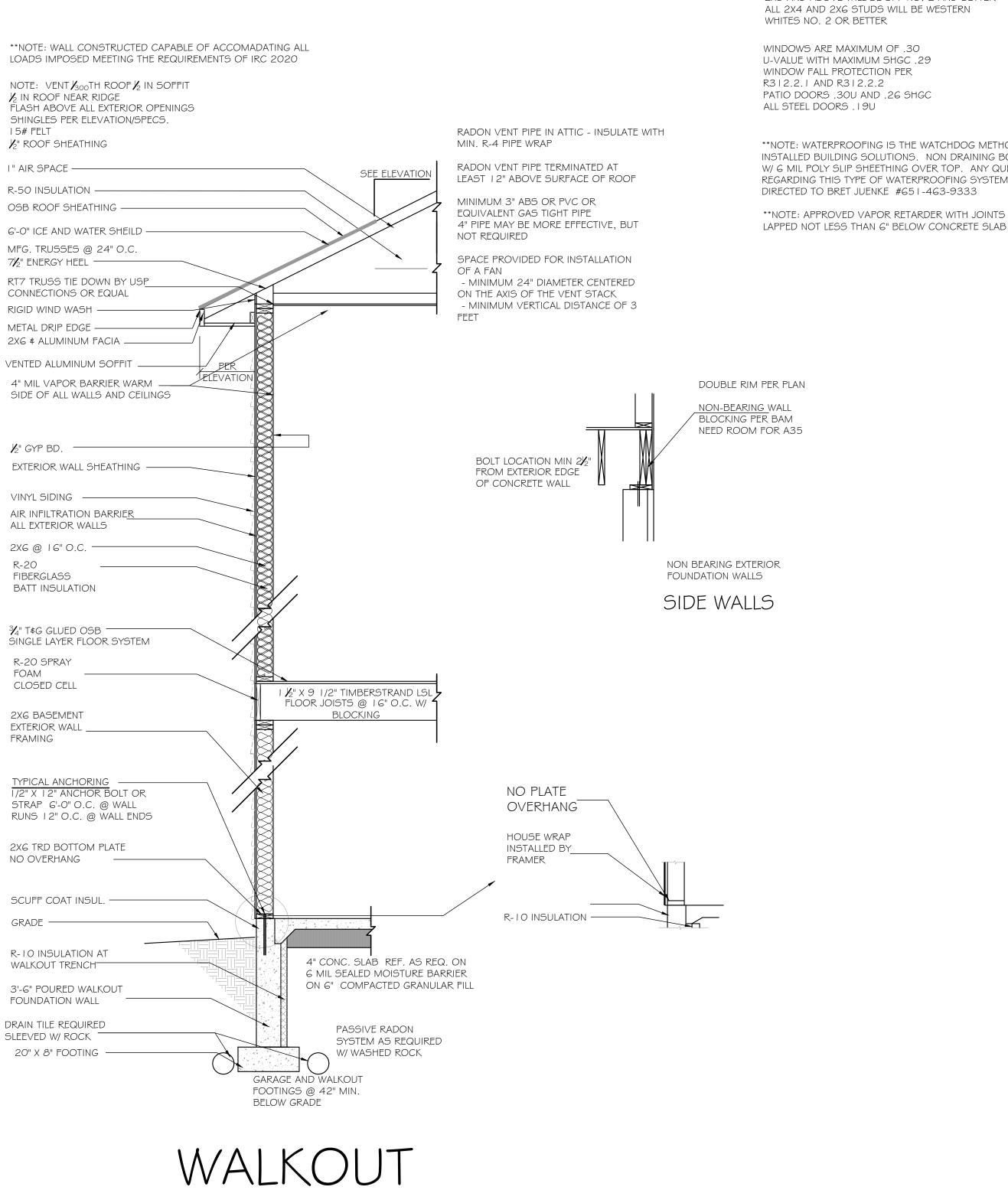


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floor plans, a the selection	0		
arrangement thereof, are			
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owned by Fieldstone Family Homes, Inc.			
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protected by law against			
unauthorized copying, or reproduction by			
unauthorized persons			
and entities. MN LIC: BC631164			
WI LIC:DC-070800080			
CLIENT:			
Project:			
LOCATION: LOT BLK			
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REVISION I I FINAL	10/7/24		
All changes after above			
date will be done			
according to F.F.H. Change Order Policy			
Homeowner			
Signature			
5			
Agent:			
Agent: Plan: CROCUS			
Agent: Plan: CROCUS Total Foundation	on: 1704		
Agent: Plan: CROCUS Total Foundation House Foundation	on: 1704 tion:1192		
Agent: Plan: CROCUS Total Foundation House Foundation Finished: 211	on: 1704 tion:1192 2		
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of Fieldstone	•		
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according to F.F.H.			
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Agent:			
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Total Foundation: 1704			
House Foundation:1192			
Finished: 211	2		
Unfinished: 28	7		
Scale:  /4" =  '-0"			
Fin Sq Ft: 1207			
	Δ		
	-T		



ALL STRUCTURAL LUMBER 2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER

\*\*NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE

### FIELDSTONE FAMILY HOMES INC.

75% OF THE BULBS IN PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS REQUIREMENT APPLIES TO INDOOR AND OUTDOOR FIXTURES, INCLUDING ACCESSORY STRUCTURES AND GARAGES. HIGH EFFICACY BULBS ARE: 60 LUMENS/W FOR LAMPS OVER 40W: 50 LUMENS/W FOR LAMPS OVER 15W TO 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

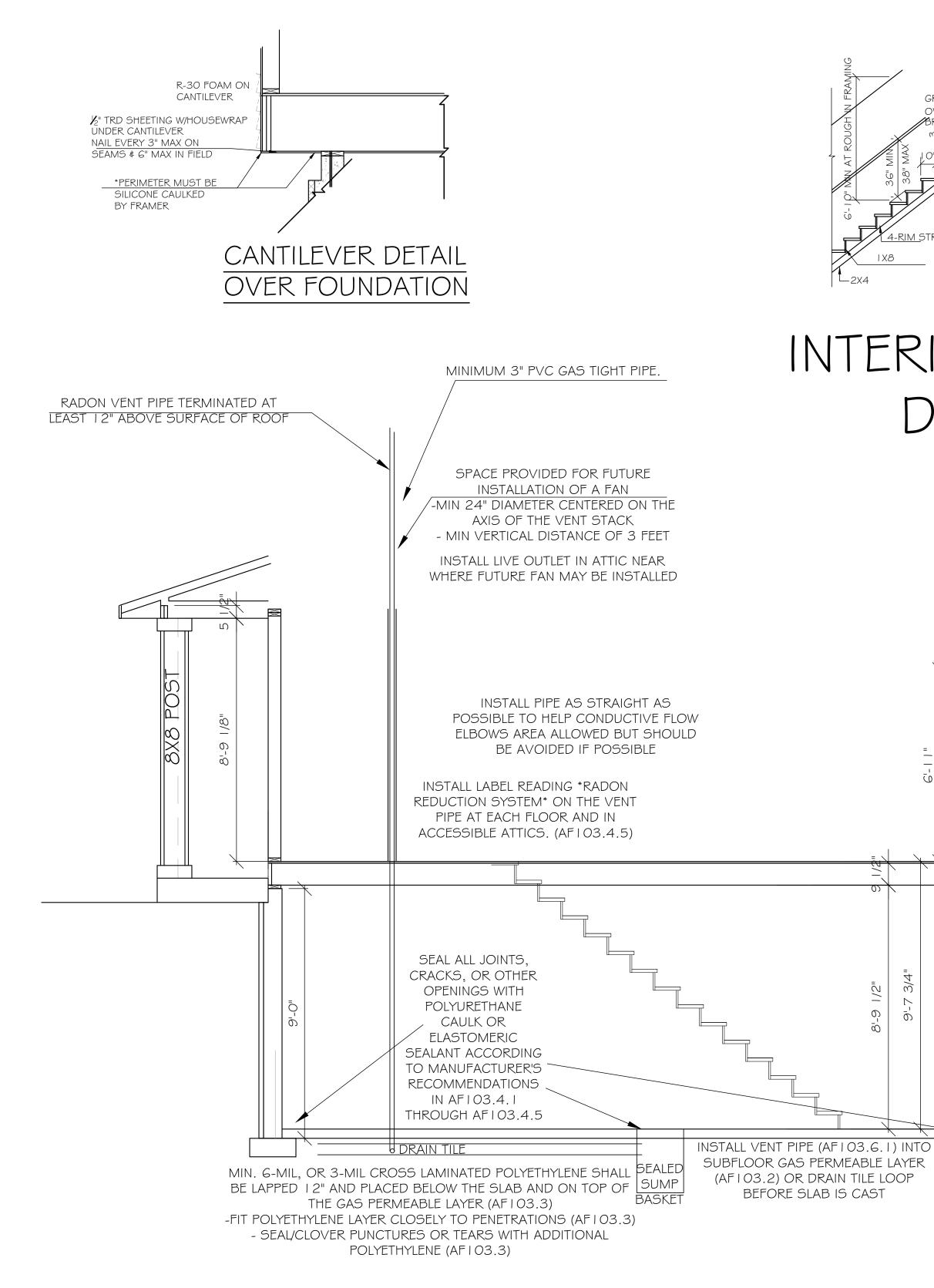
R 404.1 LIGHTING EQUIPMENT A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020
NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT 1/2 IN ROOF NEAR RIDGE FLASH ABOVE ALL EXTERIOR OPENINGS SHINGLES PER ELEVATION/SPECS. I 5# FELT
$Z_2^{"}$ ROOF SHEATHING
I " AIR SPACE SEE ELEVATION
OSB ROOF SHEATHING
G'-O" ICE AND WATER SHEILD
MFG. TRUSSES @ 24" O.C. HEEL AS NEEDED
RT7 TRUSS TIE DOWN BY USP CONNECTIONS OR EQUAL
RIGID WIND WASH
METAL DRIP EDGE
2XG ¢ ALUMINUM FACIA
VENTED ALUMINUM SOFFIT
2X6 @ 12" O.C.
EXTERIOR WALL SHEATHING 9' 78" GARAGE PLATE
VINYL SIDING
AIR INFILTRATION BARRIER ALL EXT. WALLS
TYPICAL ANCHORING
Z" X I 2" ANCHOR BOLT OR STRAP 6'-0" O.C. @ WALL RUNS I 2" O.C. @ WALL ENDS
2X6 TRD BOTTOM PLATE
GRADE G" BELOW
SHEATHING
3'-6" POURED
EXTERIOR
GARAGE WALL

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Intellectual property

DETAILS



#### OSB TREADS designs, renditions, 3/4" PLYWOOD NAILED BETWEEN floor plans, along with STRINGER & FLR SYSTEM the selection and -CUT FLUSH WITH BOTTOM OF arrangement of STRINGER 4-RIM STRINGERS thereof, are original copyrighted materials 1 X 8 owned by Fieldstone Family Homes, Inc. These materials are protected by federal law against INTERIOR STAIR unauthorized copying, or reproduction by unauthorized persons and entities. DETAIL MN LIC: BC631164 WI LIC:DC-07080008C CLIENT: Project: LOCATION: LOT BLK DEVELOPMENT Street CITY 2X6 @ 16" O.C. MN ZIP JOB #: EXTERIOR WALL SHEATHING **REVISION** I 11/1/24N **REVISION 2** GYP. SHEATHING HEIGHT **REVISION 3** AIR INFILTRATION BARRIER TYPICAL ANCHORING ALL EXT. WALLS Z" X 12" ANCHOR BOLT OR **REVISION 4** STRAP 6'-0" O.C. @ WALL SET RUNS 12" O.C. @ WALL ENDS **REVISION 5** WINDOW REVISION 6 2X8 TRD BOTTOM PLATE **REVISION 7 REVISION 8 REVISION 9** REVISION 10 POURED FOUNDATION WALL REVISION | | PER PLAN FINAL 0/7/24 All changes after above date will be done according to F.F.H. 3/4" HEIGH 8'-9 1/2" Change Order Policy GARAGE 9'-7 Homeowner = --9 SET Signature Agent: WINDOW COMMON WALL Plan: CROCUS Total Foundation: 1704 House Foundation: 1192 Finished: 2112 Unfinished: 287 Scale: |/4" = |'-0"Fin Sq Ft: 6 DETAILS

GRASPABLE HANDRAIL TYPE I

OVAL 2 1/4" WIDE X I 1/4" HIGH

BRACKETS @ 4' O.C.

# FIELDSTONE FAMILY HOMES INC.

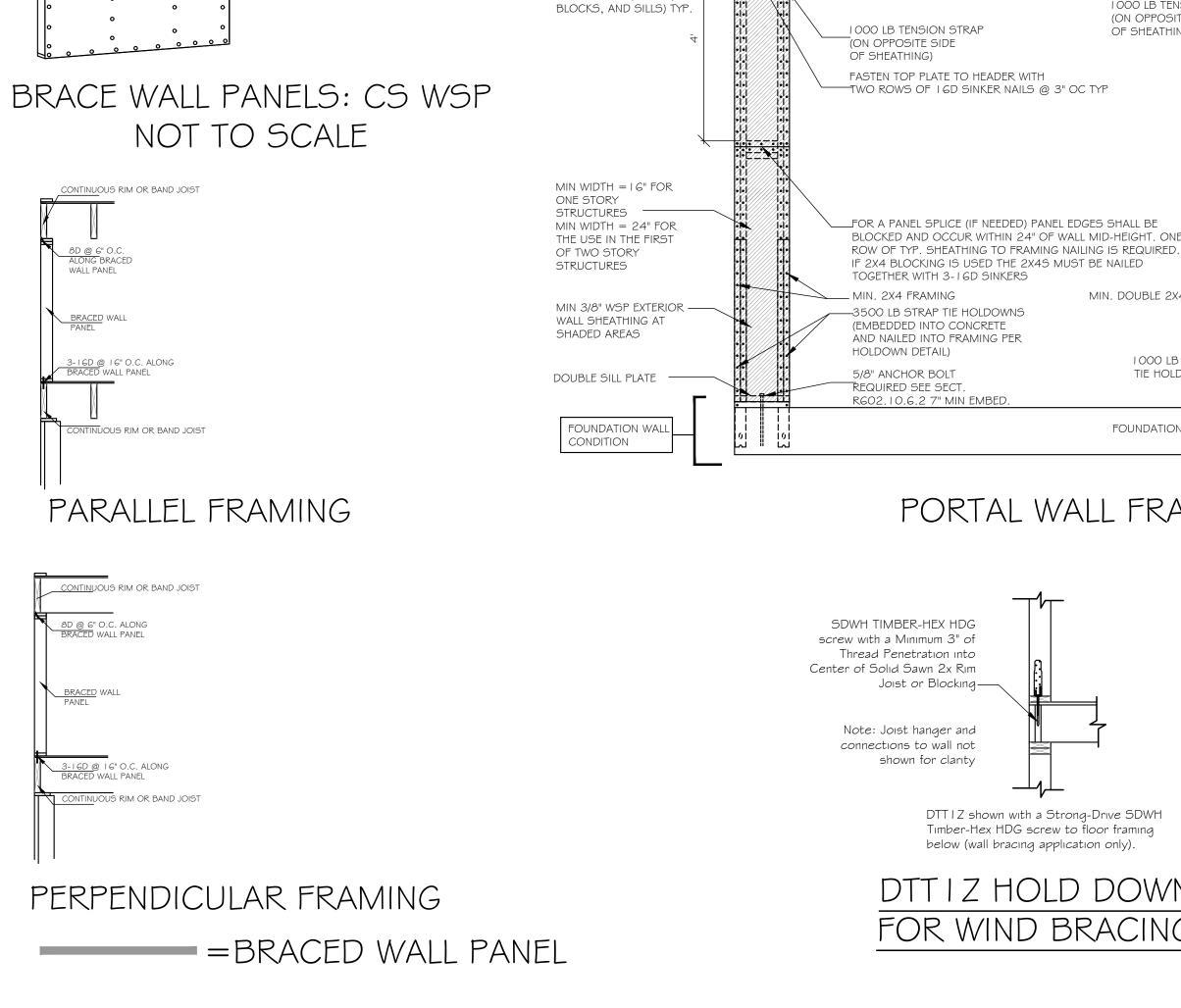
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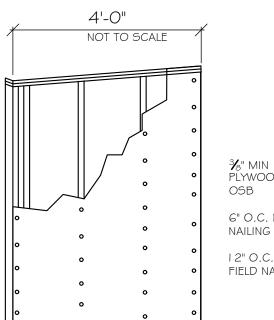
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plan drawings, including but not





PLYWOOD OR OSB 6" O.C. EDGE NAILING 12" O.C. FIELD NAILING

1000 LB TENSION STRAP

ON OPPOSITE SIDE

//•//•//•

FASTEN SHEATHING TO HEADER WITH 8D

GALVANIZED BOX NAILS I

SHOWN AND 3" O.C. IN

ALL FRAMING (STUDS, BLOCKS, AND SILLS) TYP.

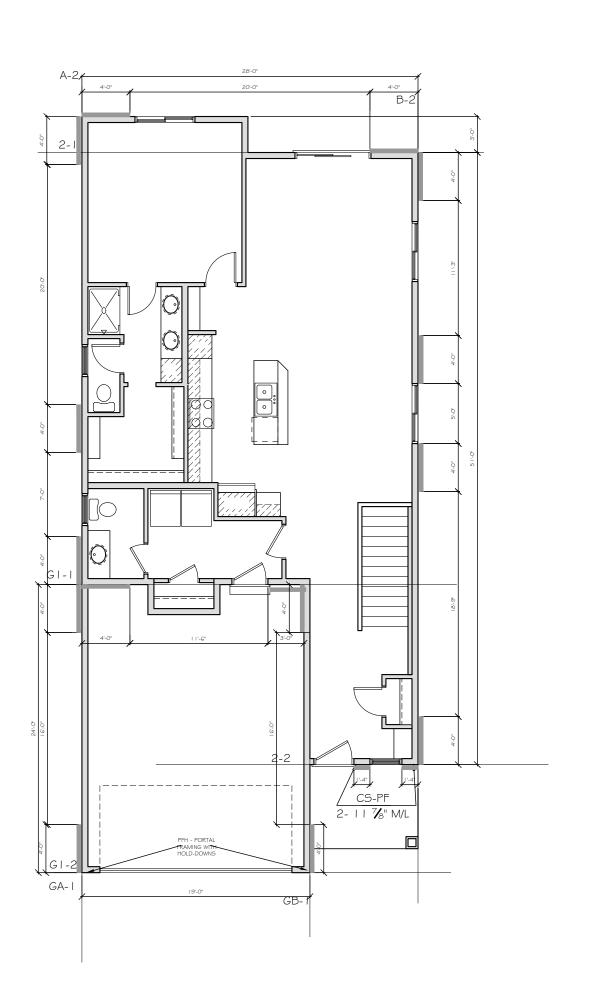
3" GRID PATTERN AS

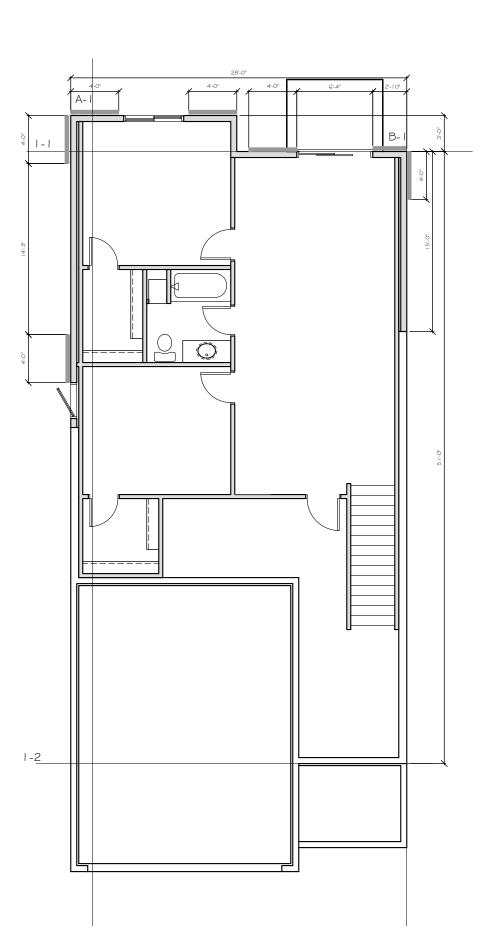
COMMON OR \_

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BRACE WALL DETAILS

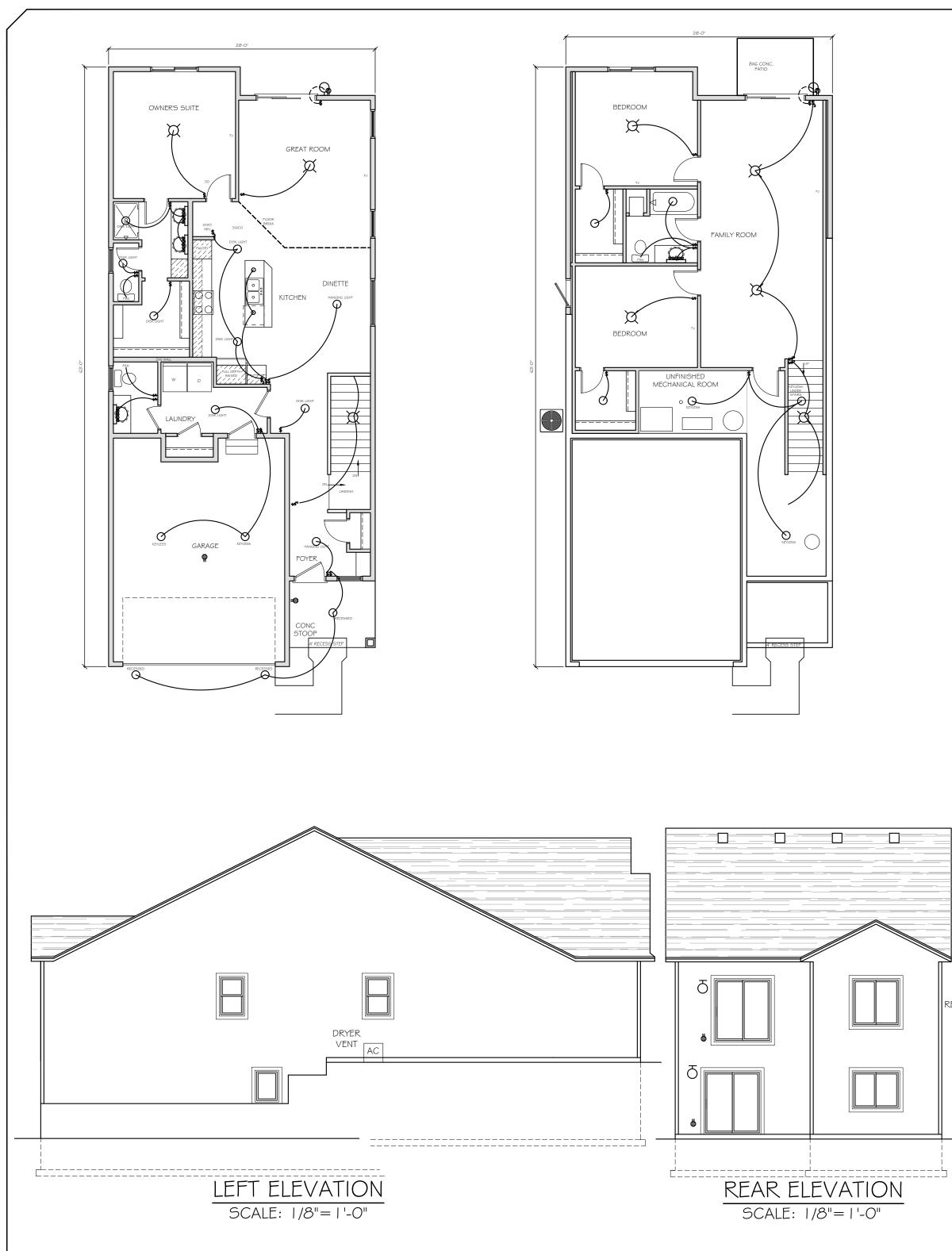
7





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BRACE WALL LAYOUT



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ELECTRICAL LAYOUT

9

Unfinished: 287

Fin Sq Ft:

Scale: |/8" = |'-0"