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MN LIC: BCG31164  
WI LIC: DC-070800080

CLIENT:  
Project:

LOCATION:  
LOT \_ BLK\_ DEVELOPMENT

Street  
CITY  
MN ZIP  
JOB #:

REVISION 1	11/1/24M
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	10/7/24

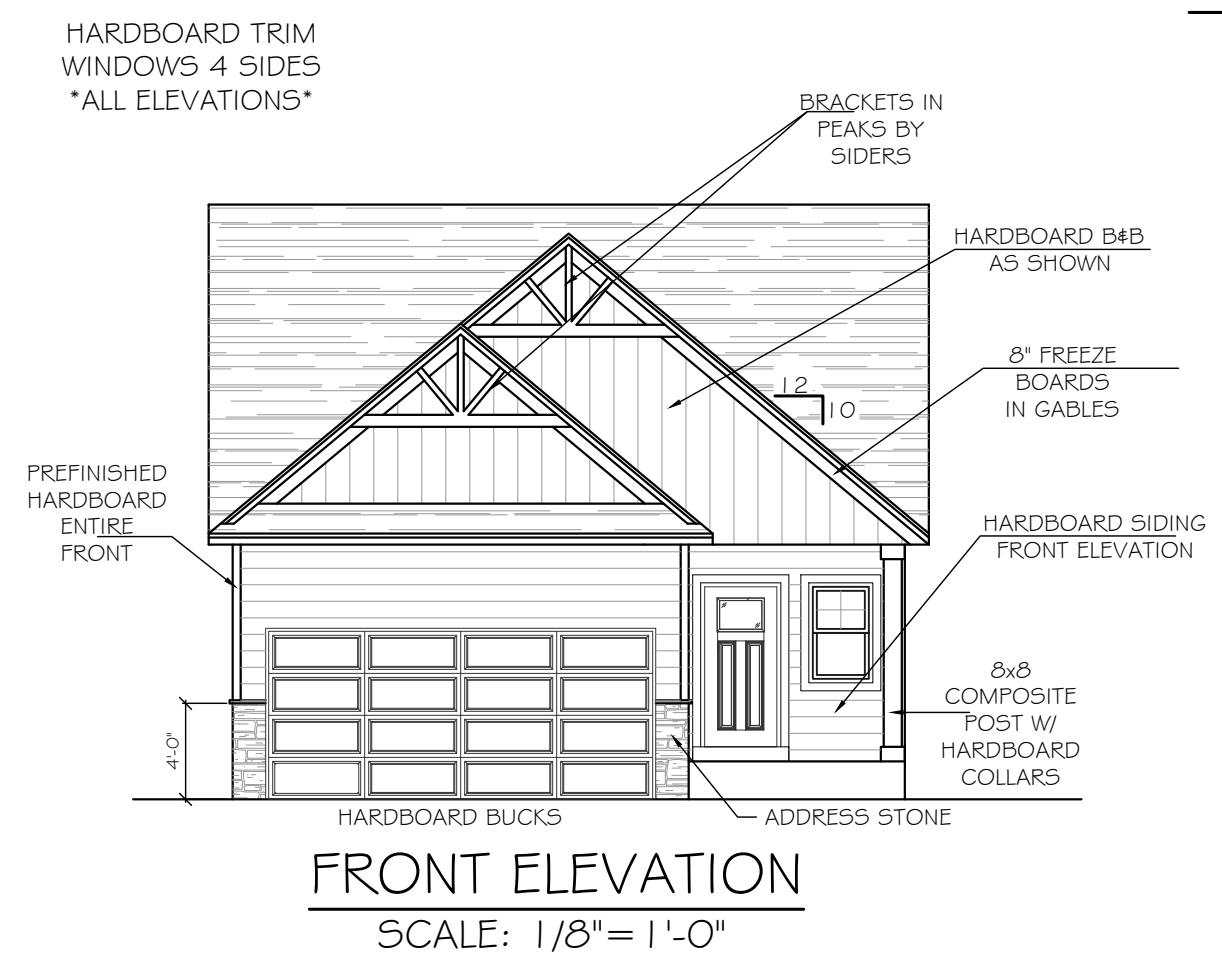
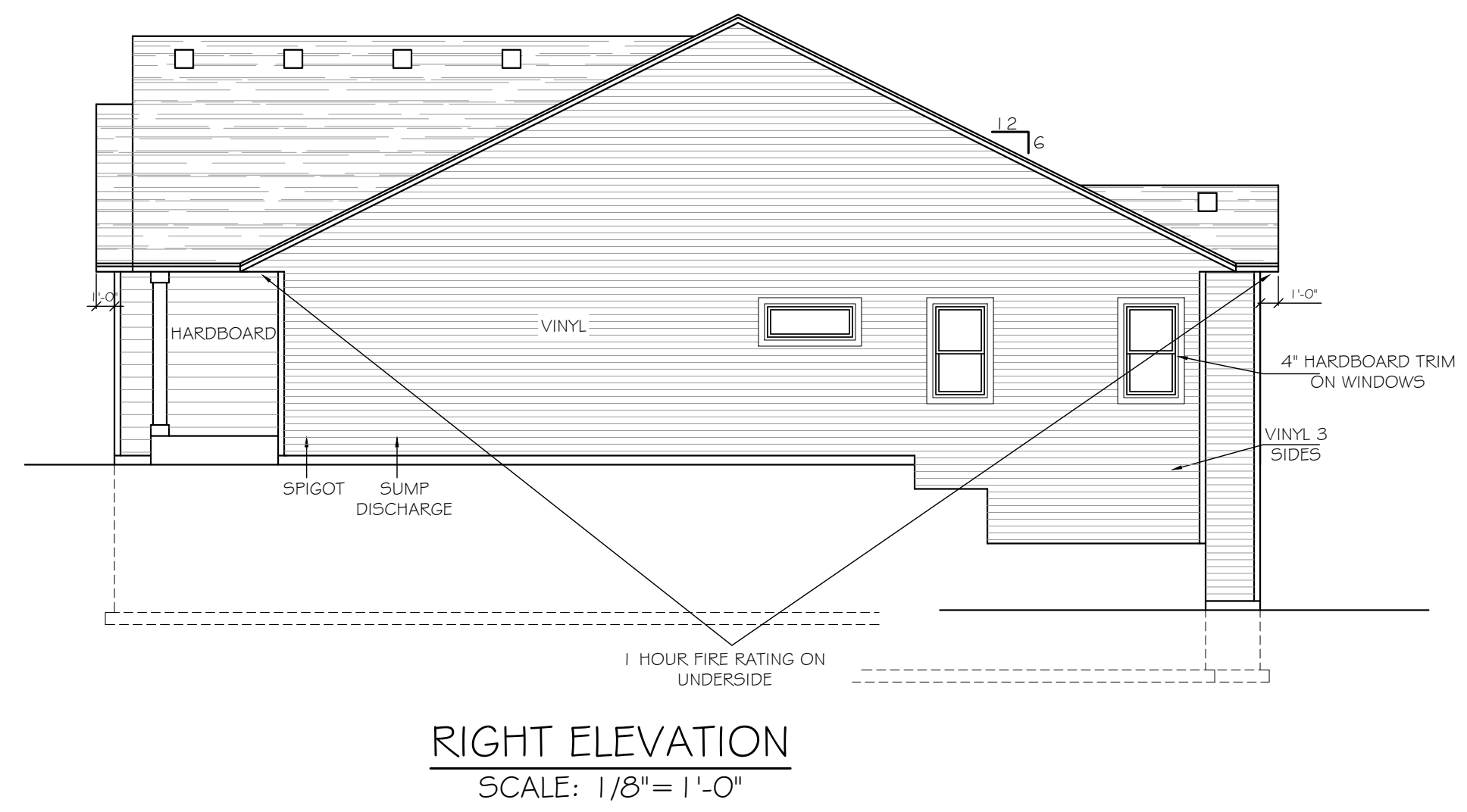
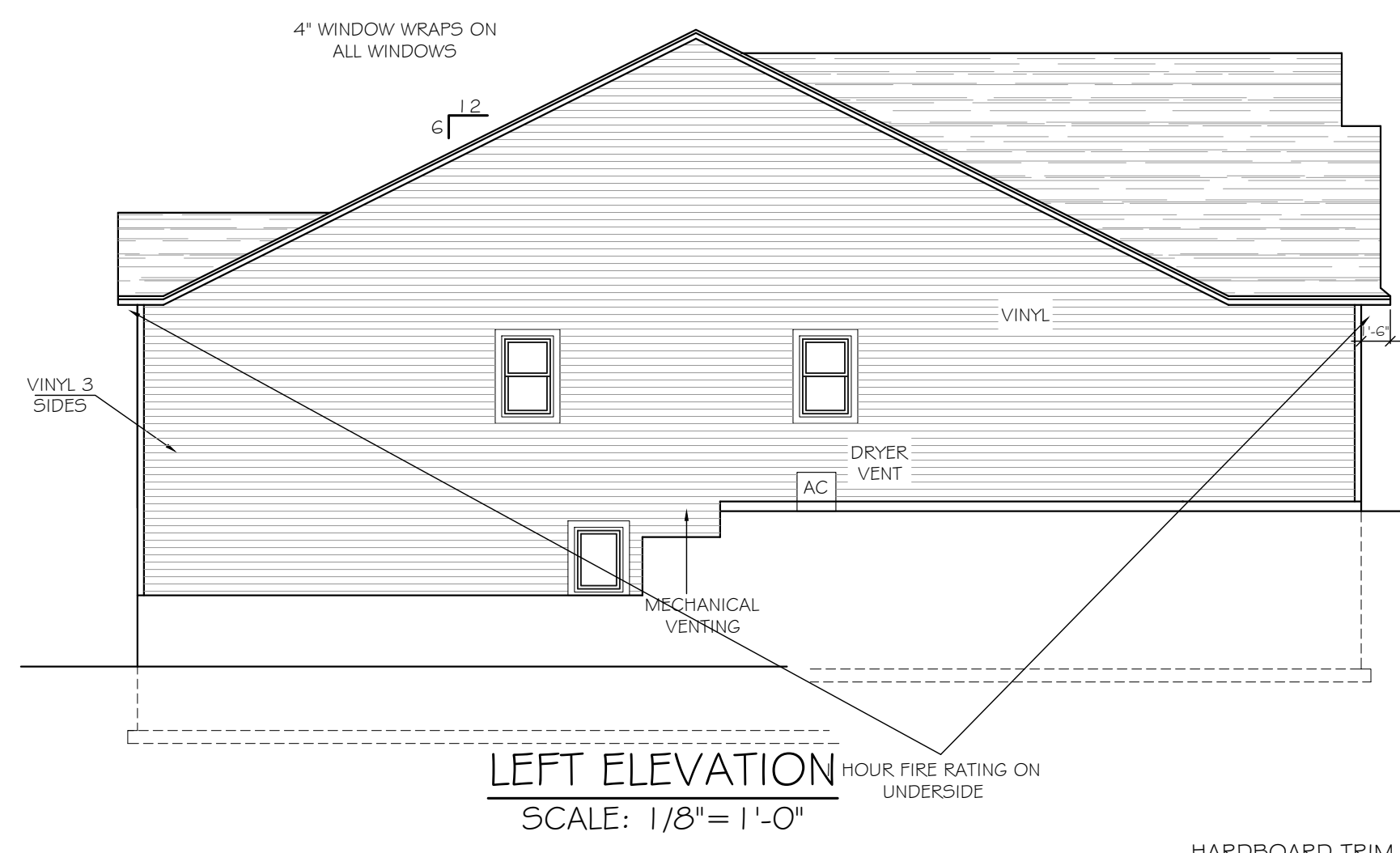
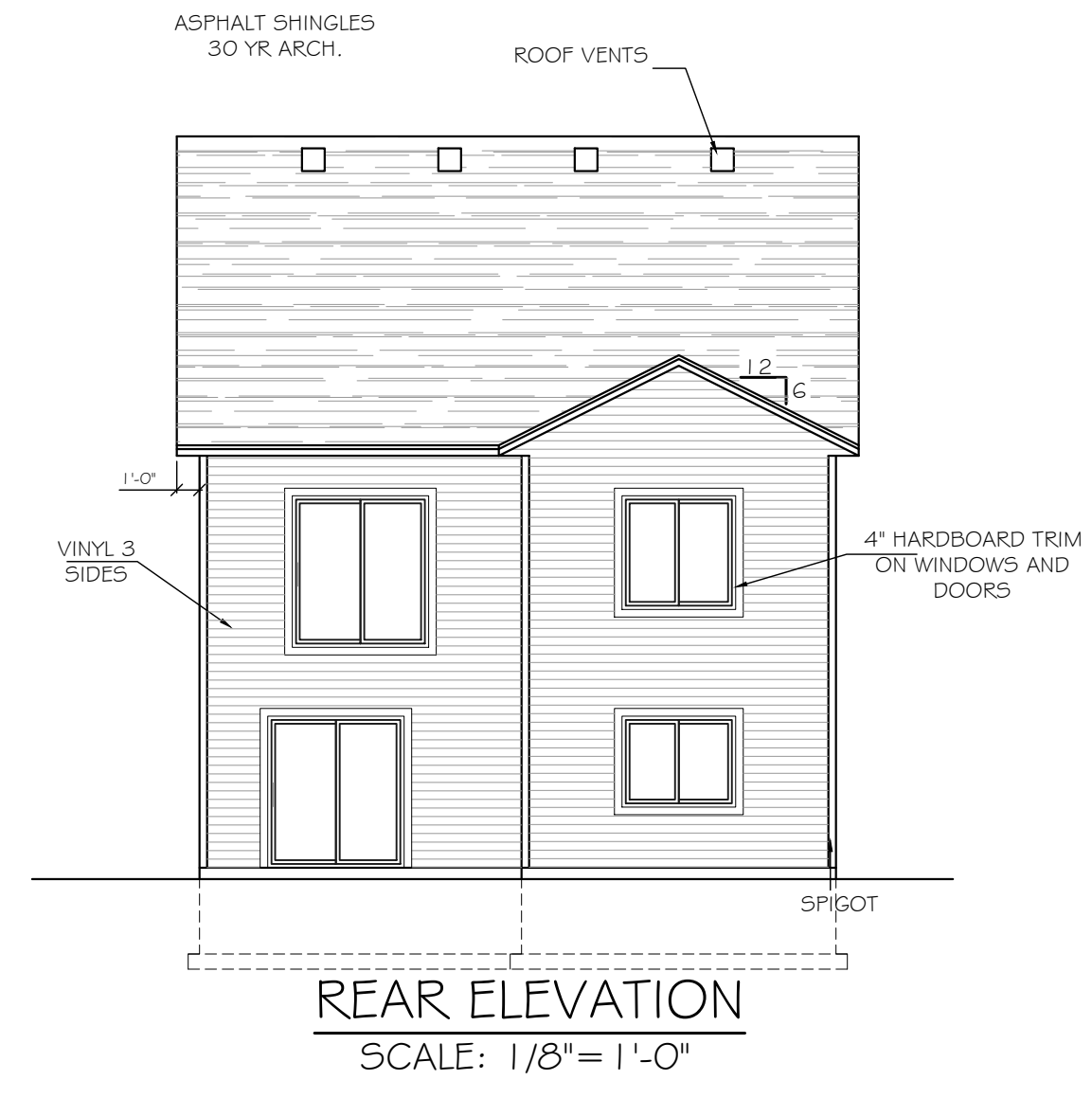
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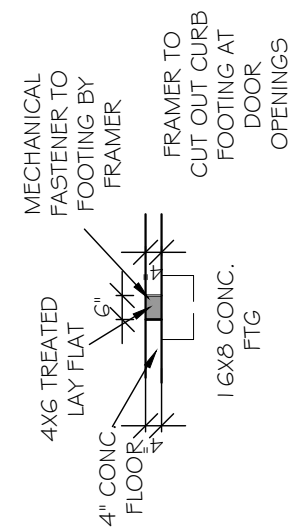
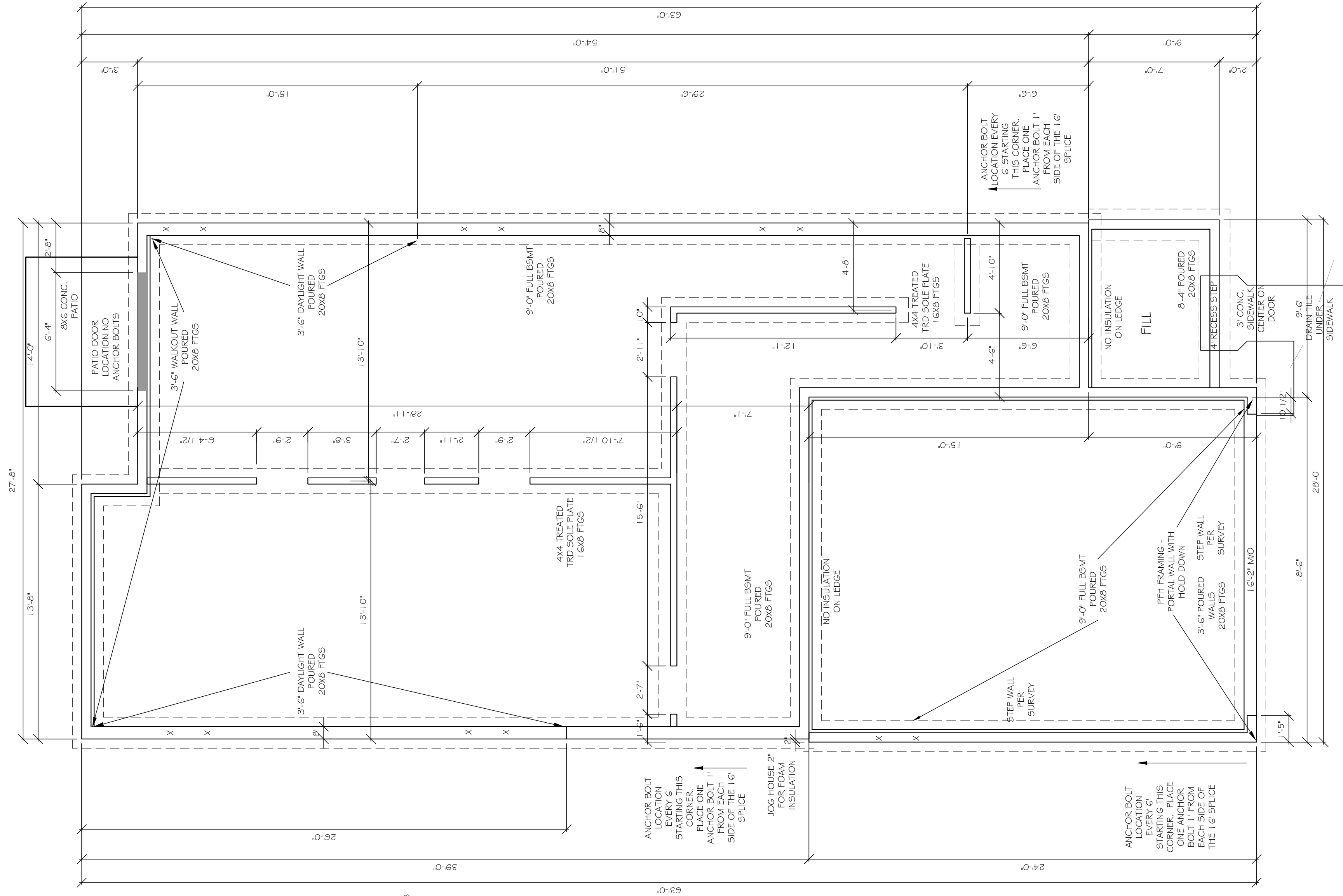
Homeowner Signature

Agent:  
Plan: CROCUS  
Total Foundation: 1704  
House Foundation: 1192  
Finished: 2112  
Unfinished: 287

Scale: 1/8" = 1'-0"

Fin Sq Ft: 2112





**FRAMER NOTE:**  
 INTERIOR  
 CURB DETAIL FOR 2X6  
 BEARING WALL

\*ANCHOR BOLTS  
 PLACED ACCORDING  
 TO IRC SECTION 404-  
 R.404.1 (3)  
 TABLE R404.1(1)

DOUBLES AT 16'  
 PLATE SPLICES SO  
 BOLT @ 15' # 17'

ANCHOR BOLTS  
 CENTER ON WALL WITH  
 FOAM

ANCHOR BOLTS 1 3/4"  
 INSIDE FROM WALLS  
 WITH NO FOAM

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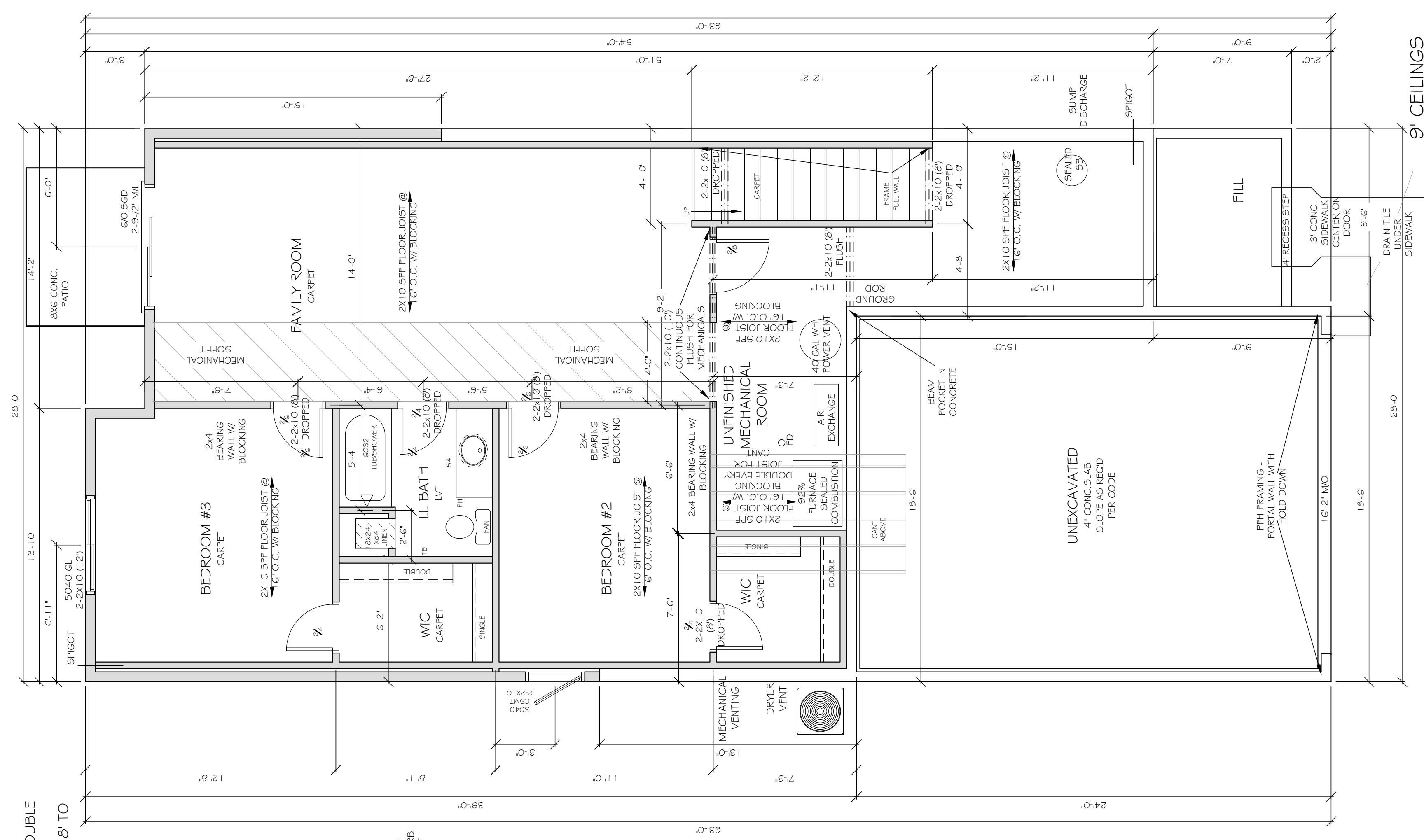
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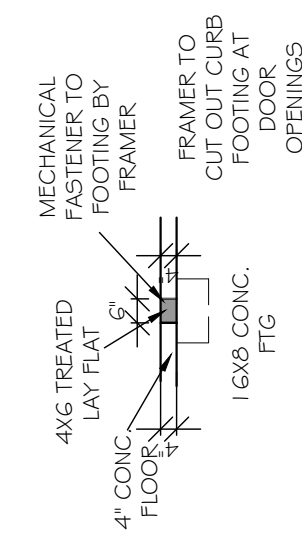
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Fin Sq Ft:

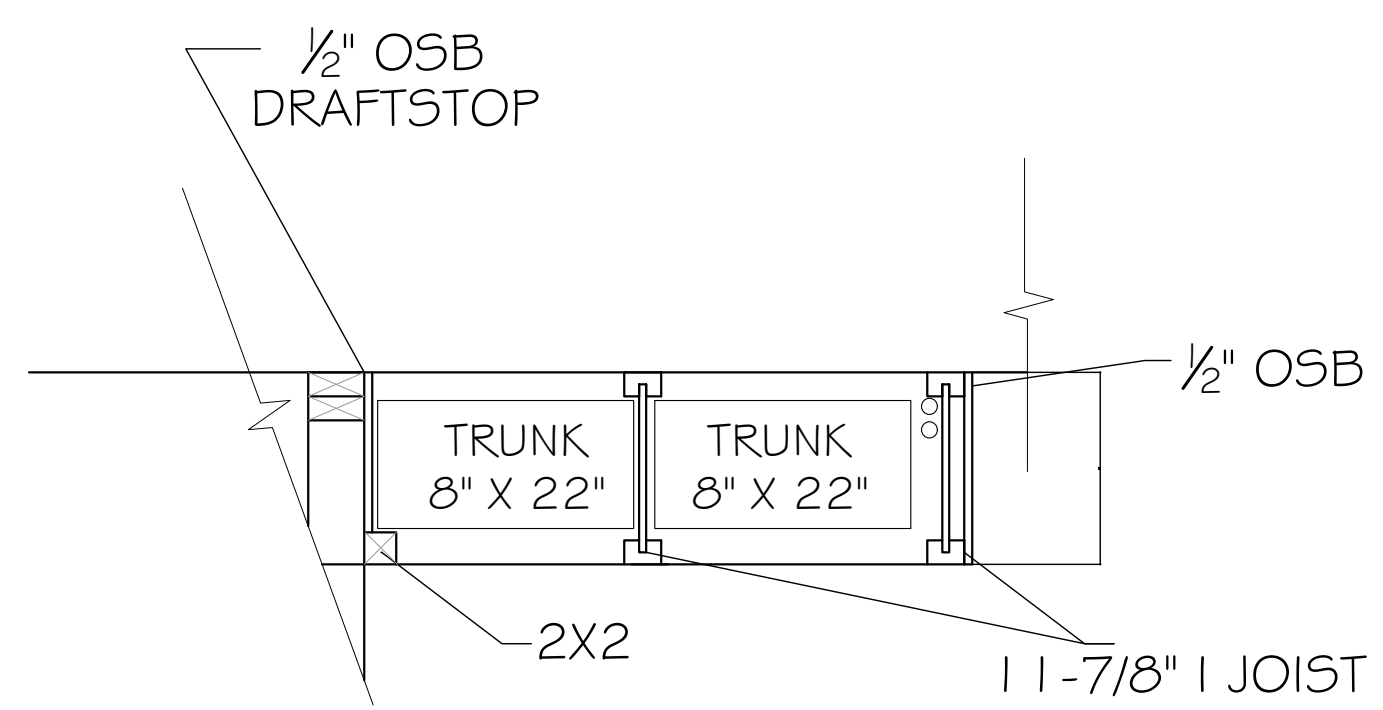
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**FRAMER NOTES:**  
 -ALL WINDOWS/DOOR TO HAVE DOUBLE JACK STUDS  
 -WINDOWS/DOORS LARGER THAN 8' TO HAVE DOUBLE KING STUDS



**FRAMER NOTE:**  
 INTERIOR CURB DETAIL FOR 2X6 BEARING WALL



MECHANICAL SOFFIT DETAIL

1/2" = 1'-0"

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Fin Sq Ft: 905



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ALL STRUCTURAL LUMBER  
2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER  
ALL 2X4 AND 2X6 STUDS WILL BE WESTERN WHITES NO. 2 OR BETTER

WINDOWS ARE MAXIMUM OF .30 U-VALUE WITH MAXIMUM SHGC .29  
WINDOW FALL PROTECTION PER R312.2.1 AND R312.2.2  
PATIO DOORS .30U AND .26 SHGC  
ALL STEEL DOORS .19U

\*\*NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE DIRECTED TO BRET JENKE #651-463-9333

\*\*NOTE: APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB

75% OF THE BULBS IN PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS REQUIREMENT APPLIES TO INDOOR AND OUTDOOR FIXTURES, INCLUDING ACCESSORY STRUCTURES AND GARAGES. HIGH EFFICACY BULBS ARE: 60 LUMENS/W FOR LAMPS OVER 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

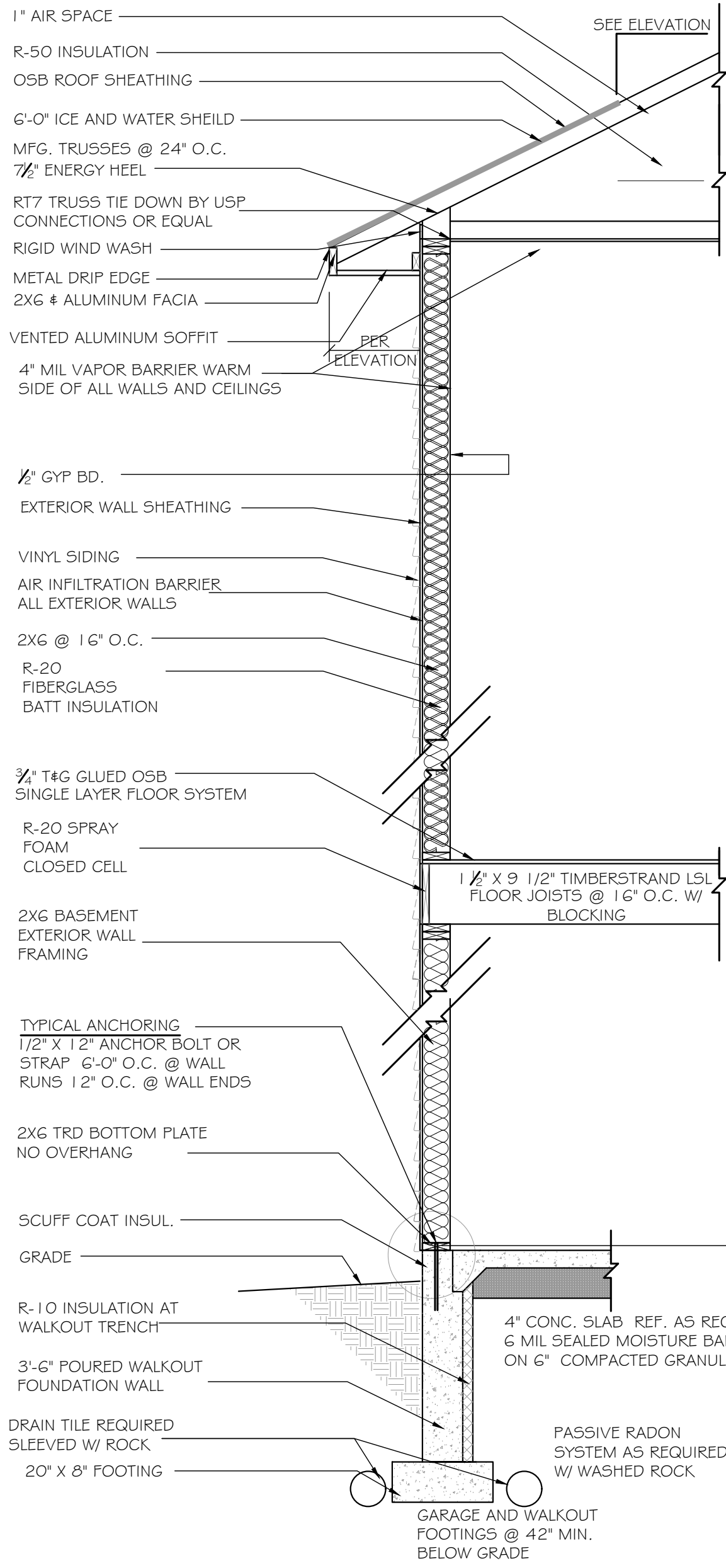
R 404.1 LIGHTING EQUIPMENT  
A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.

\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT  
1/2 IN ROOF NEAR RIDGE  
FLASH ABOVE ALL EXTERIOR OPENINGS  
SHINGLES PER ELEVATION/SPECS.  
15# FELT  
1/2" ROOF SHEATHING

\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

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1/2 IN ROOF NEAR RIDGE  
FLASH ABOVE ALL EXTERIOR OPENINGS  
SHINGLES PER ELEVATION/SPECS.  
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1/2" ROOF SHEATHING



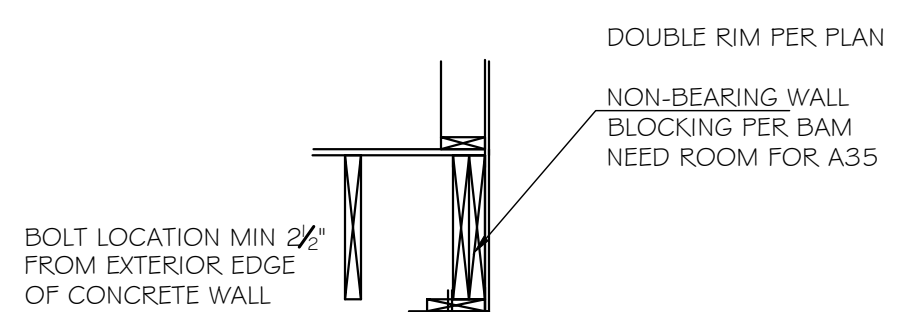
WALKOUT

RADON VENT PIPE IN ATTIC - INSULATE WITH MIN. R-4 PIPE WRAP

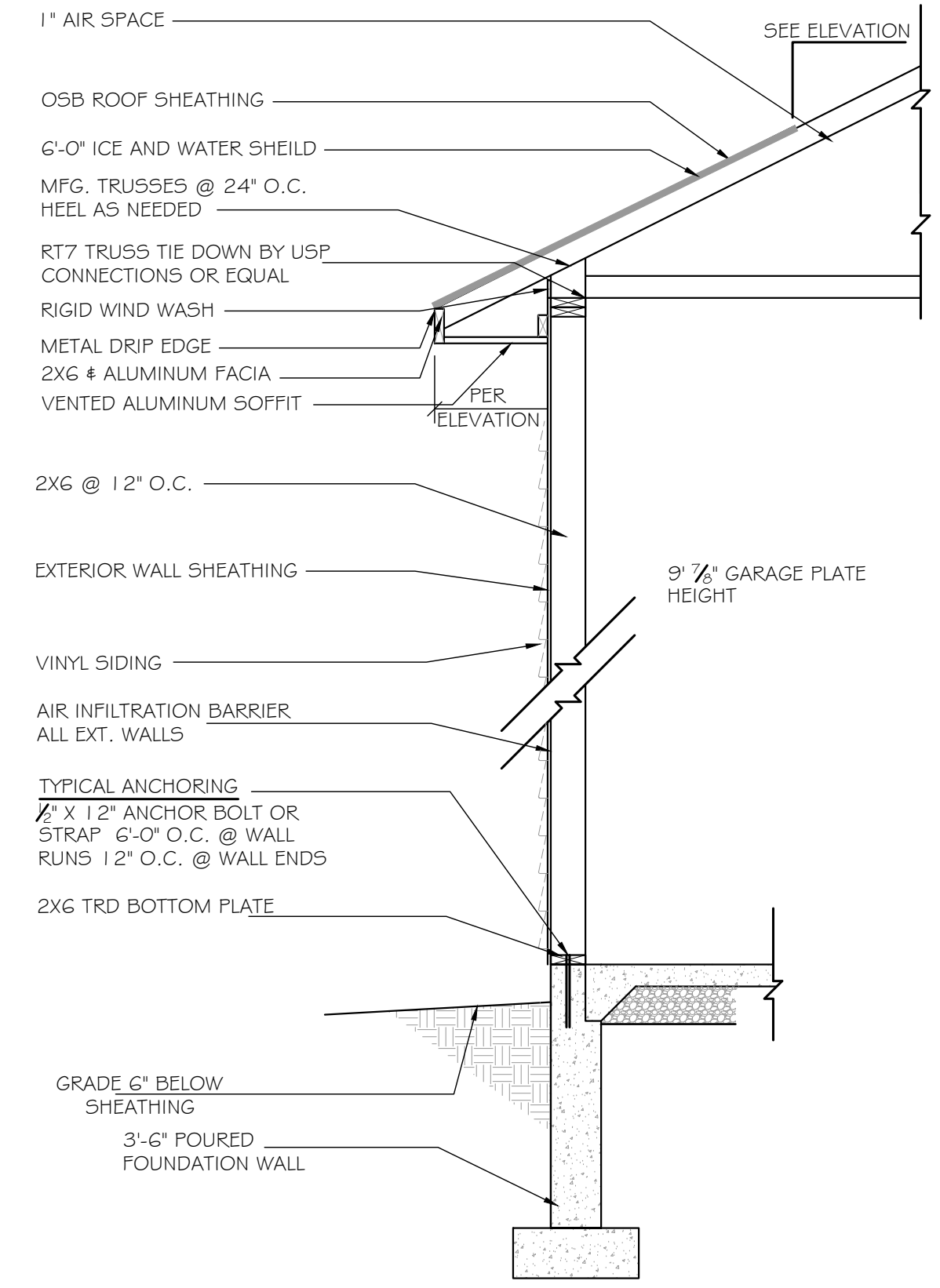
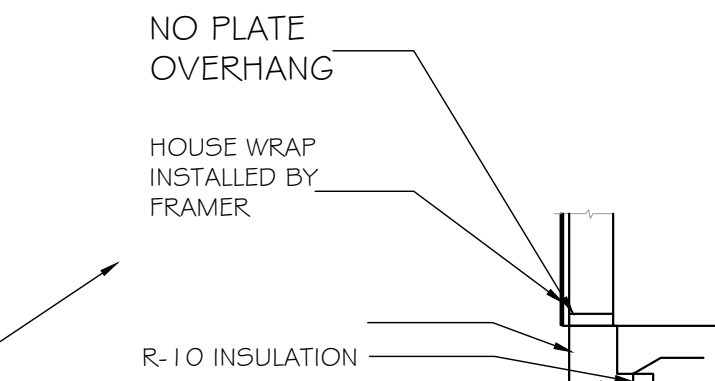
RADON VENT PIPE TERMINATED AT LEAST 12" ABOVE SURFACE OF ROOF

MINIMUM 3" ABS OR PVC OR EQUIVALENT GAS TIGHT PIPE  
4" PIPE MAY BE MORE EFFECTIVE, BUT NOT REQUIRED

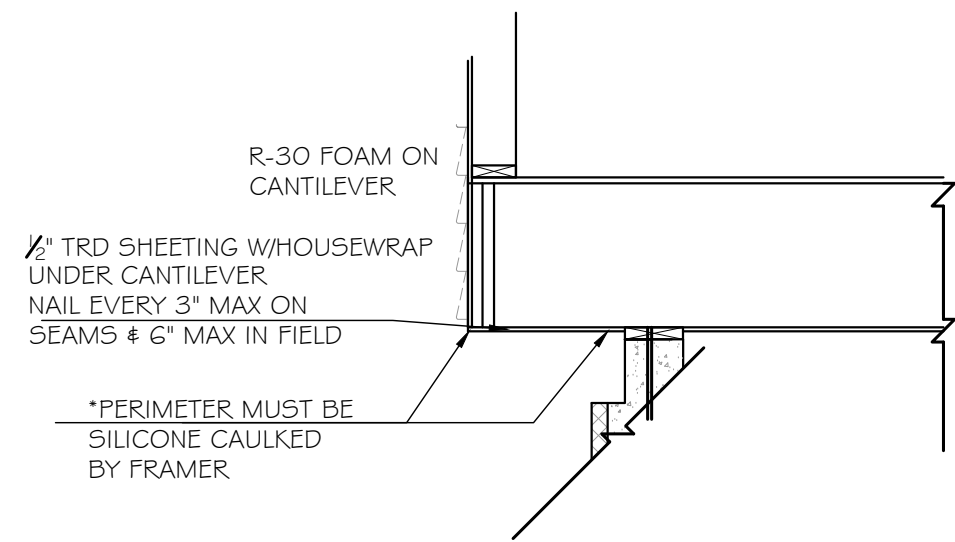
SPACE PROVIDED FOR INSTALLATION OF A FAN  
- MINIMUM 24" DIAMETER CENTERED ON THE AXIS OF THE VENT STACK  
- MINIMUM VERTICAL DISTANCE OF 3 FEET



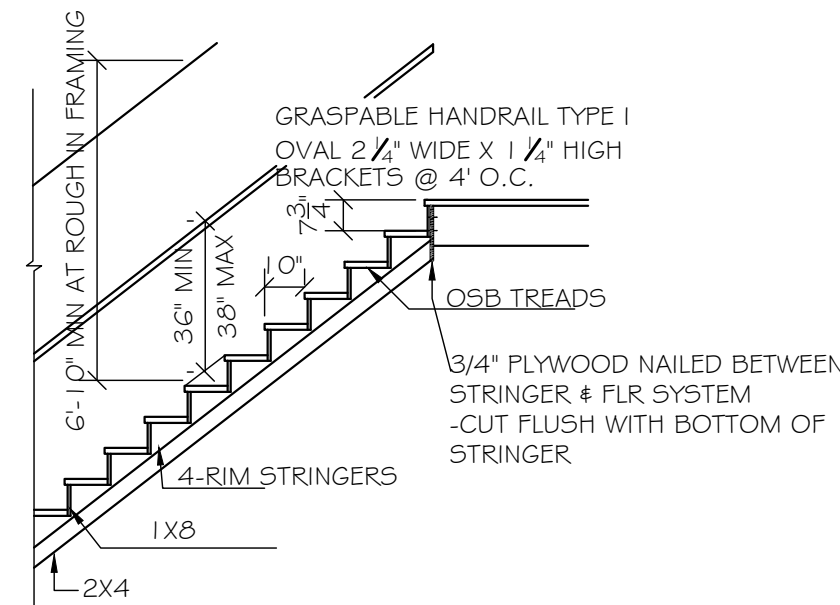
SIDE WALLS



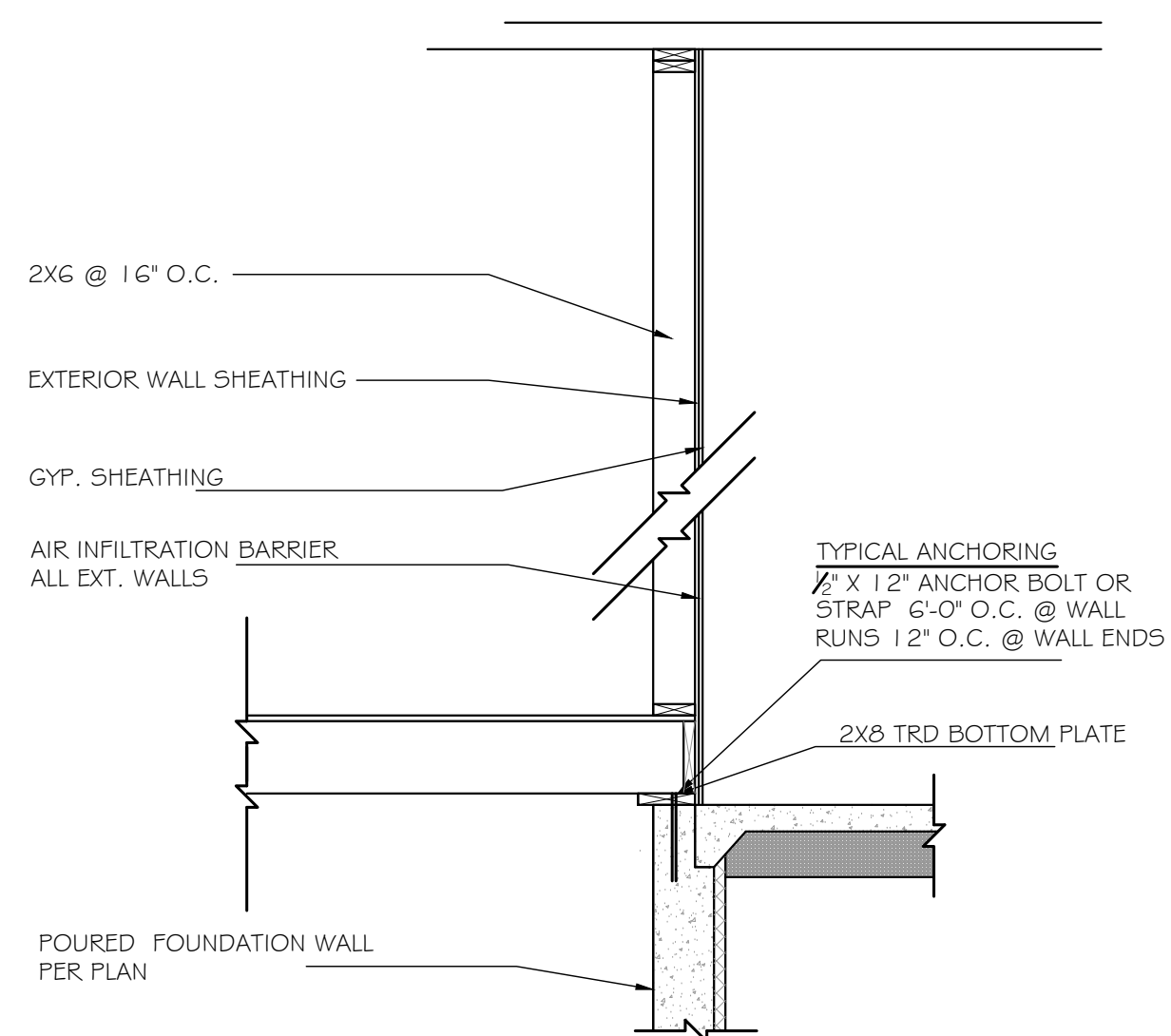
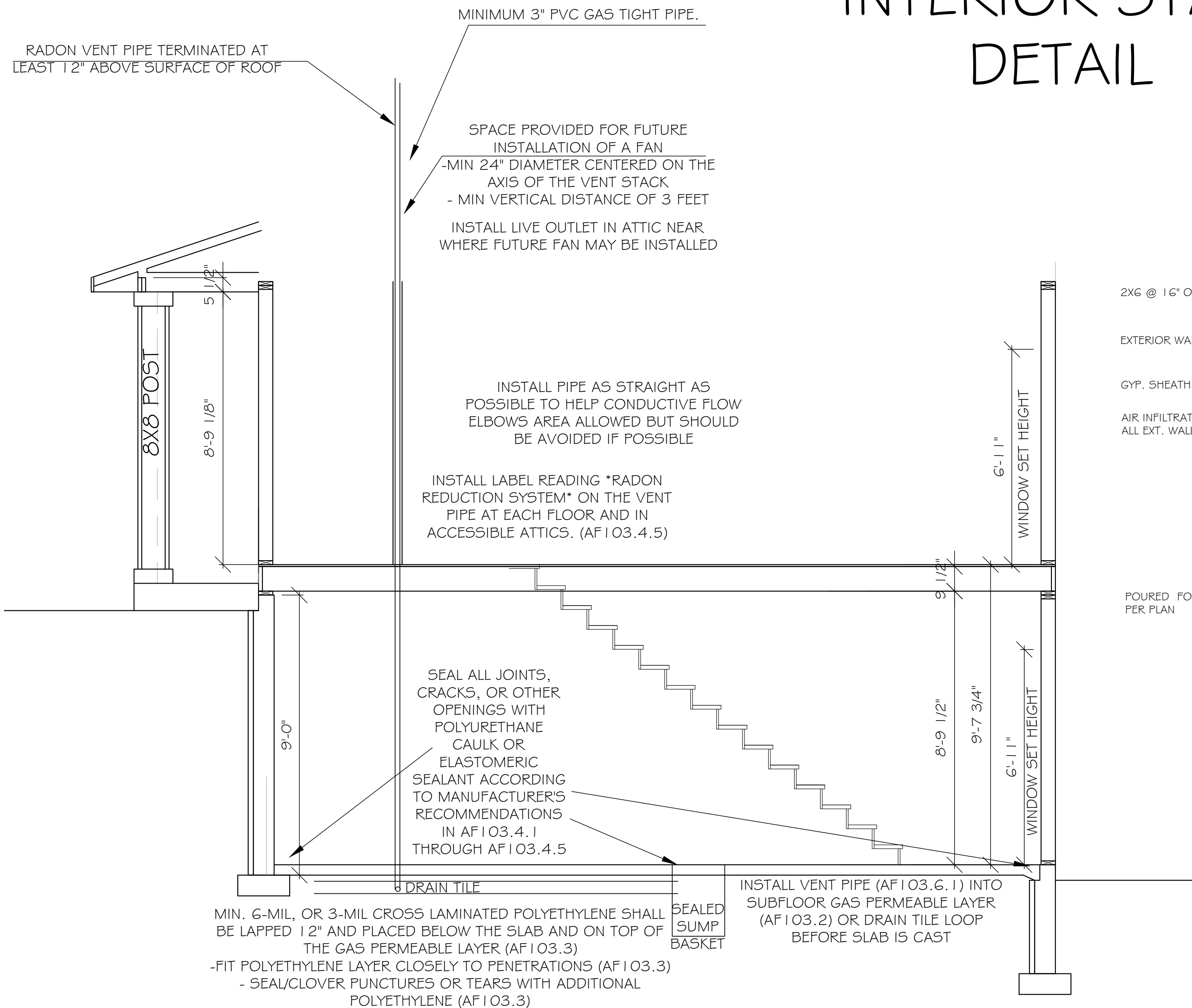
EXTERIOR GARAGE WALL



CANTILEVER DETAIL OVER FOUNDATION



INTERIOR STAIR DETAIL



GARAGE COMMON WALL

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Homeowner Signature

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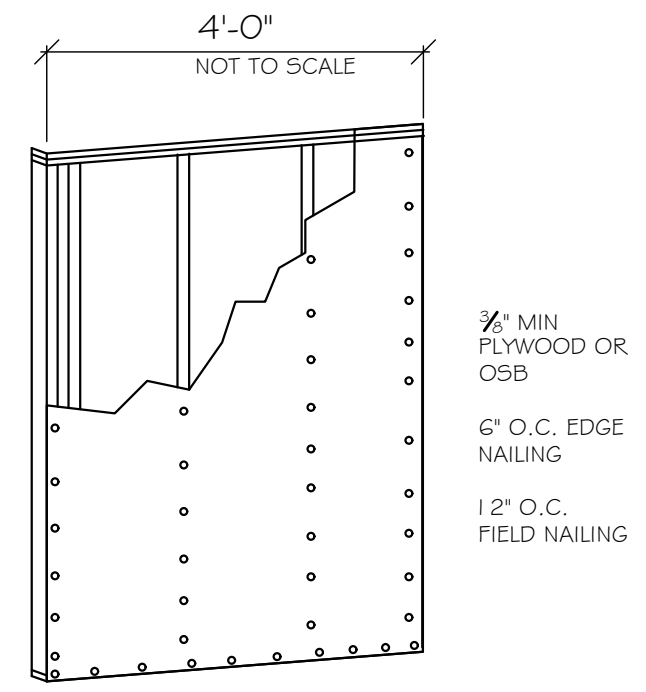
Unfinished: 287

Scale: 1/4" = 1'-0"

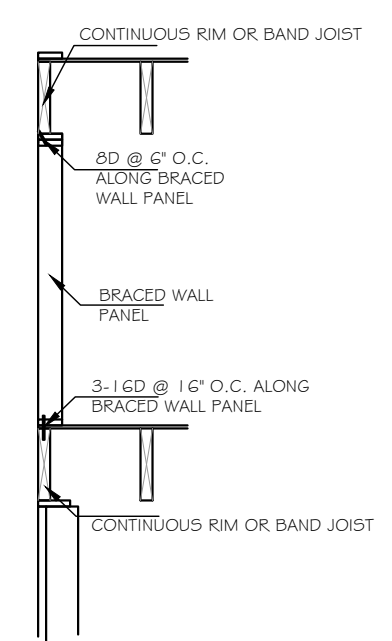
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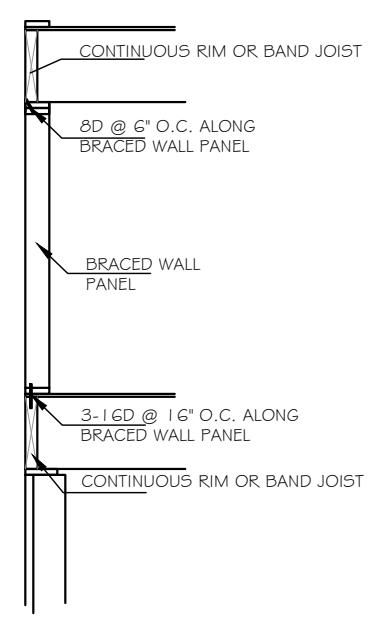
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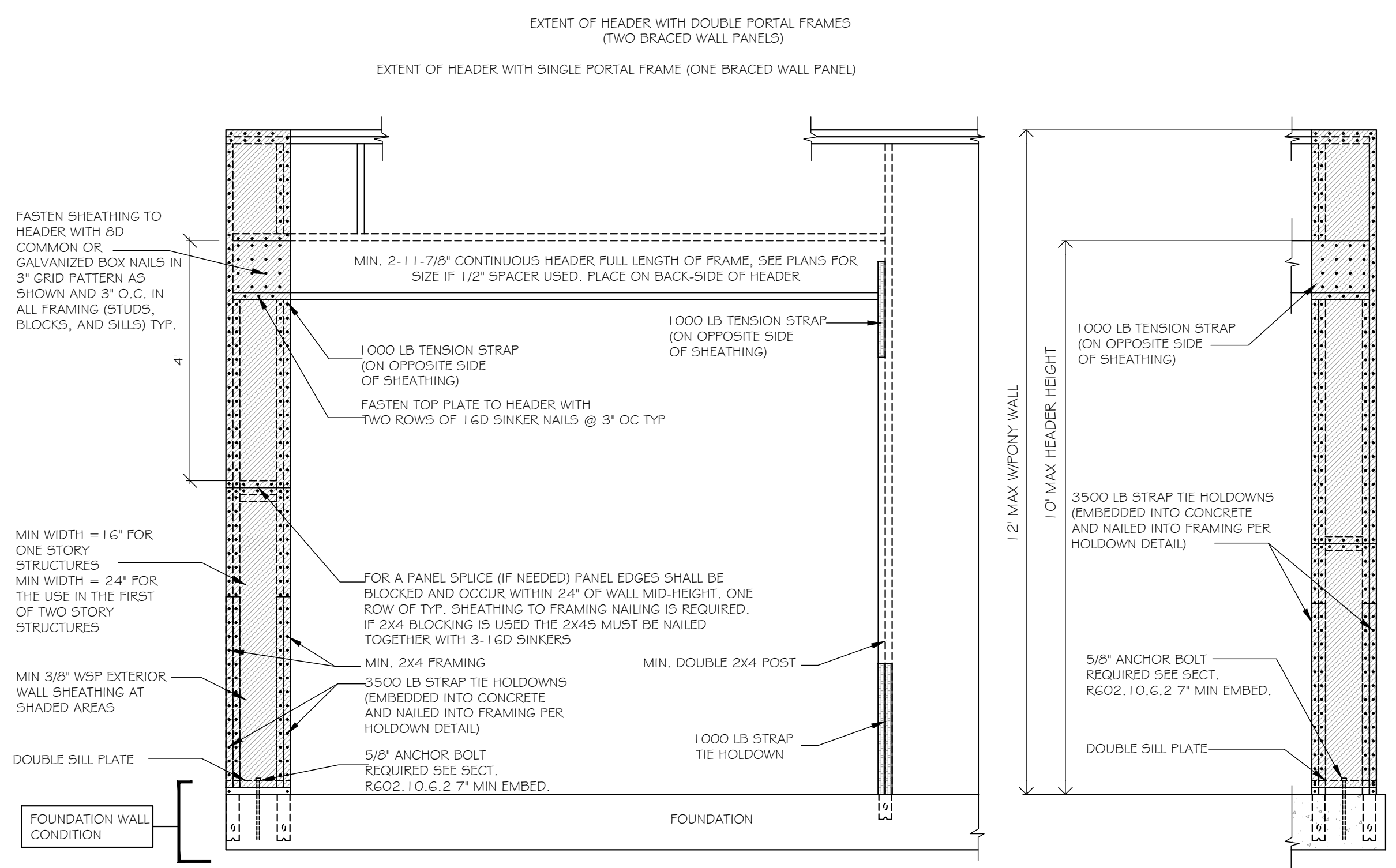
BRACE WALL PANELS: CS WSP  
NOT TO SCALE



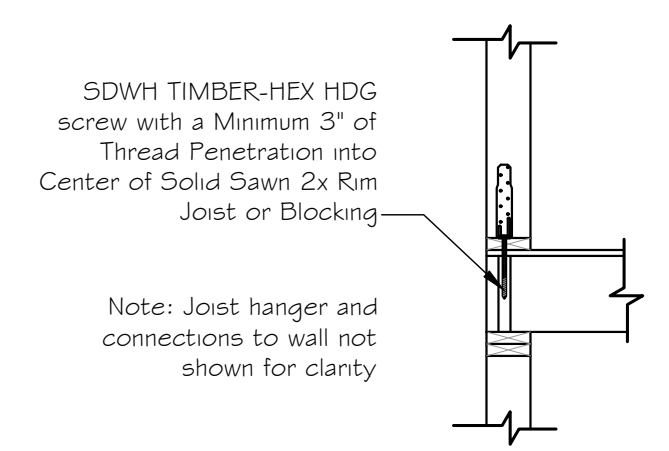
PARALLEL FRAMING



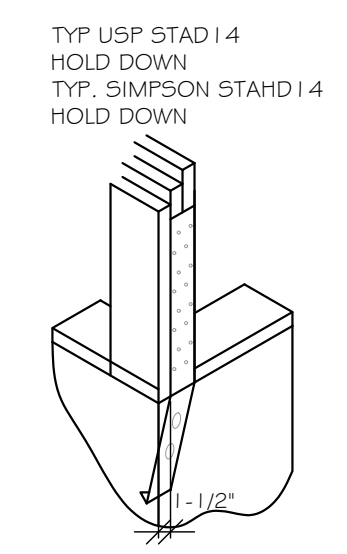
PERPENDICULAR FRAMING  
 — = BRACED WALL PANEL



PORTAL WALL FRAMING DETAIL FOR GARAGE



DTT I Z HOLD DOWN FOR WIND BRACING



HOLD DOWN DETAIL

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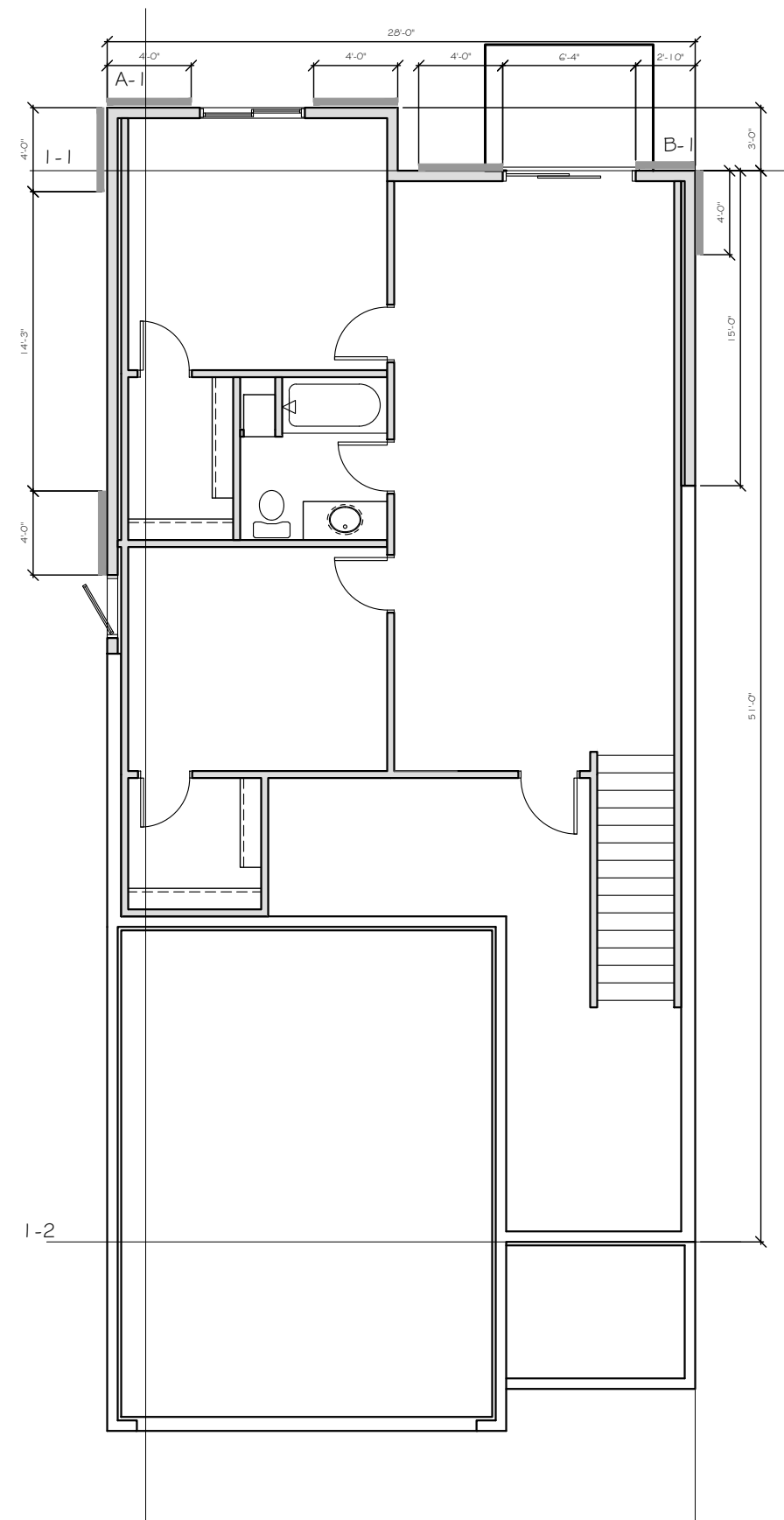
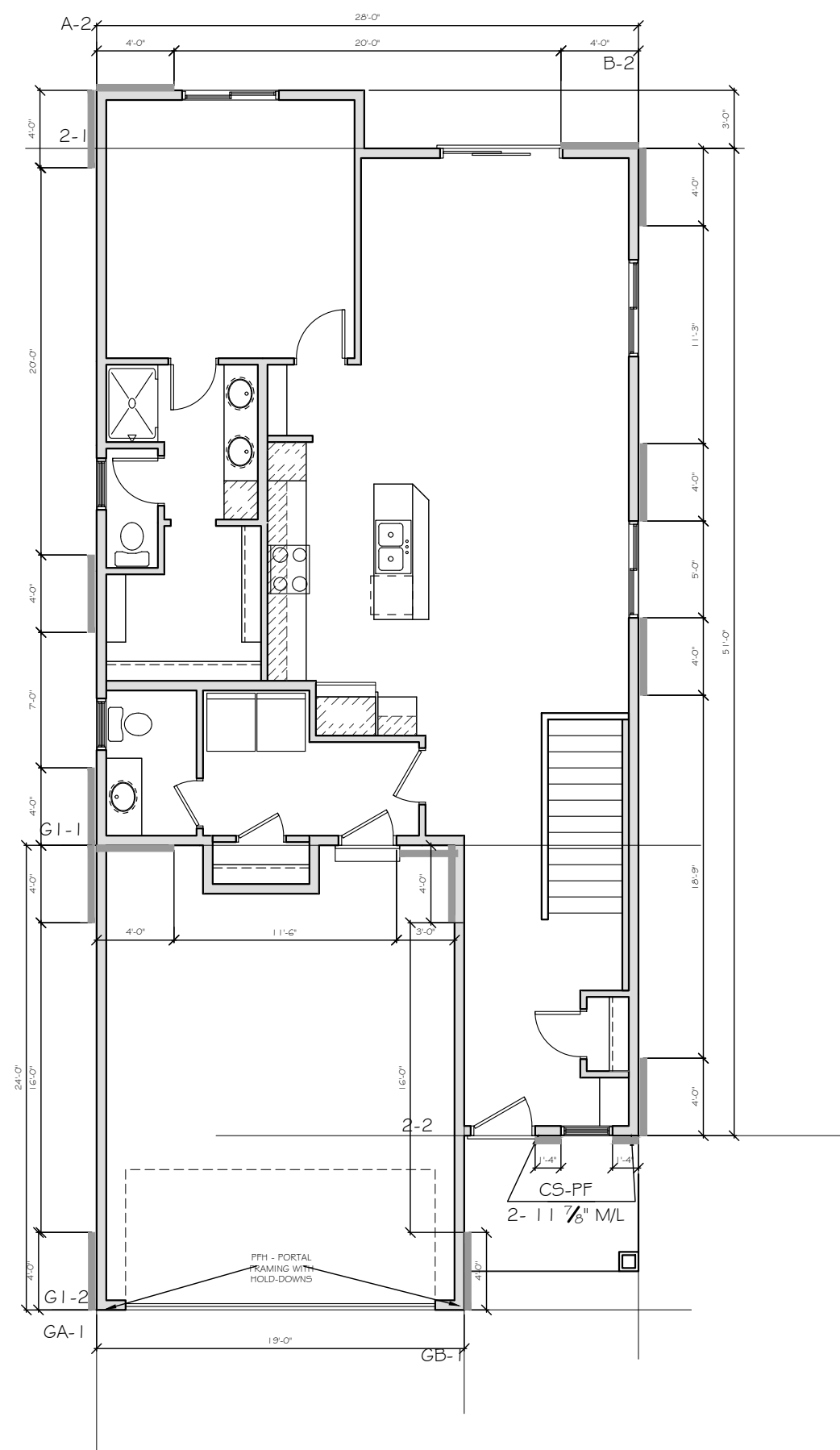
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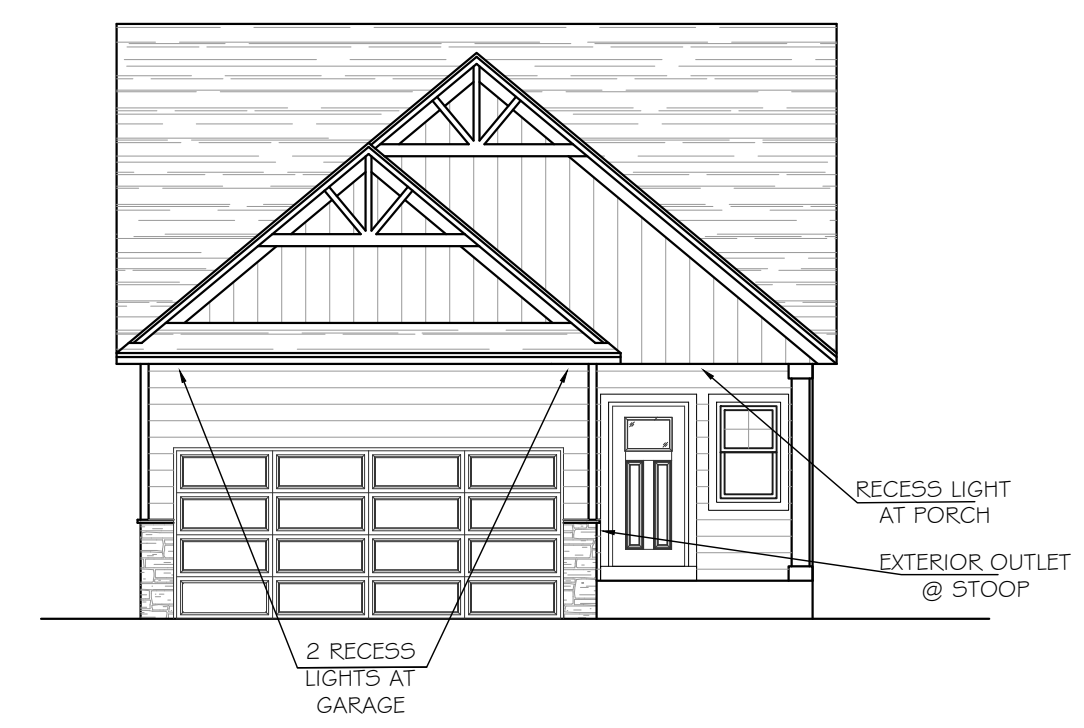
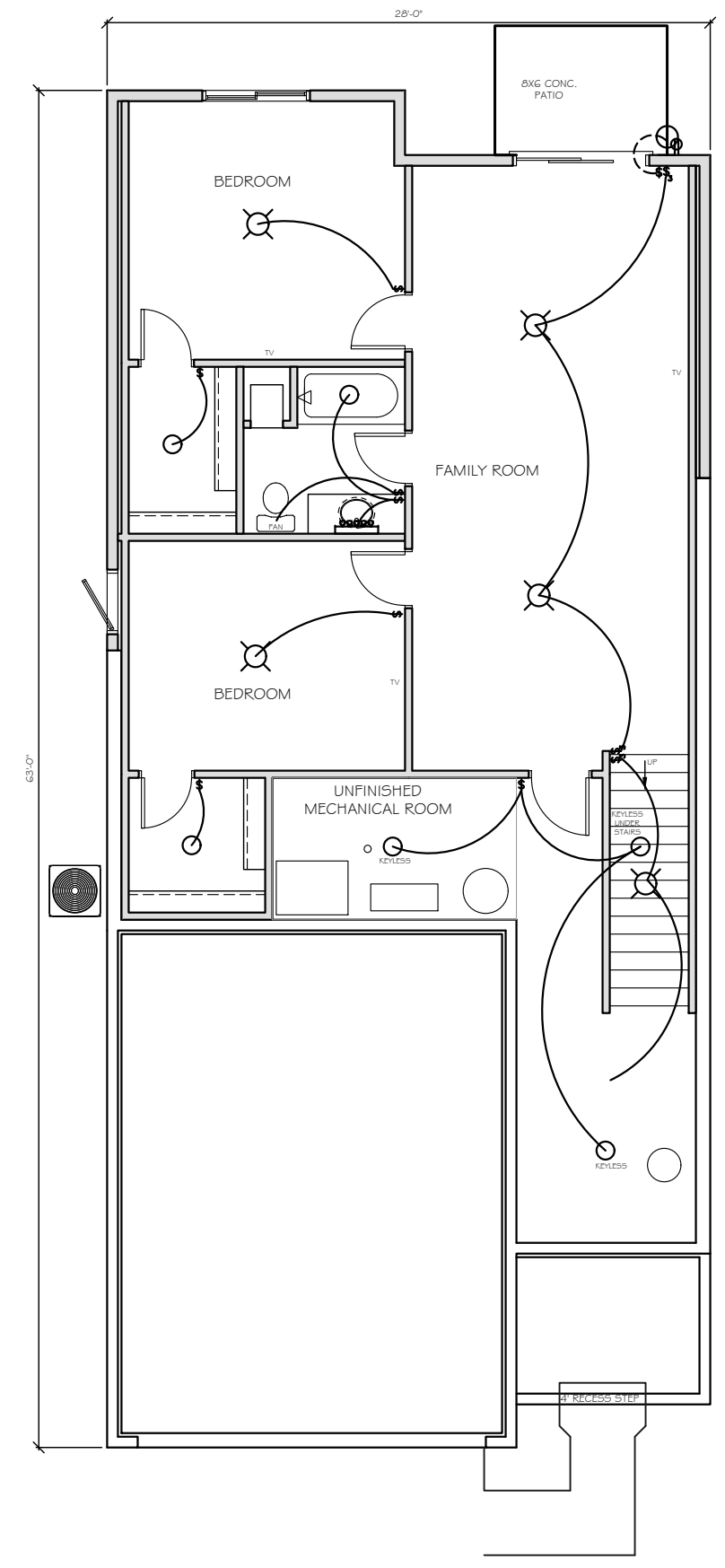
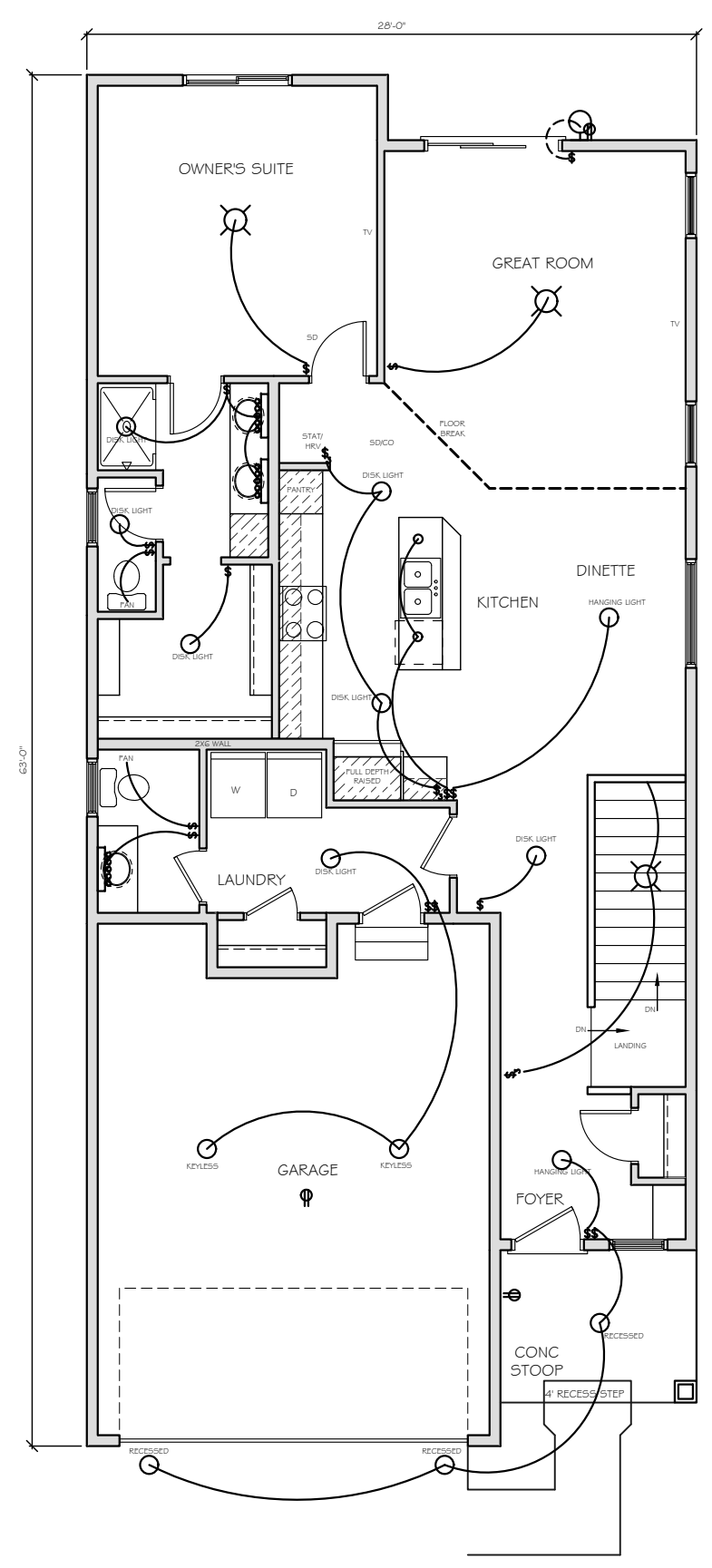
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FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"

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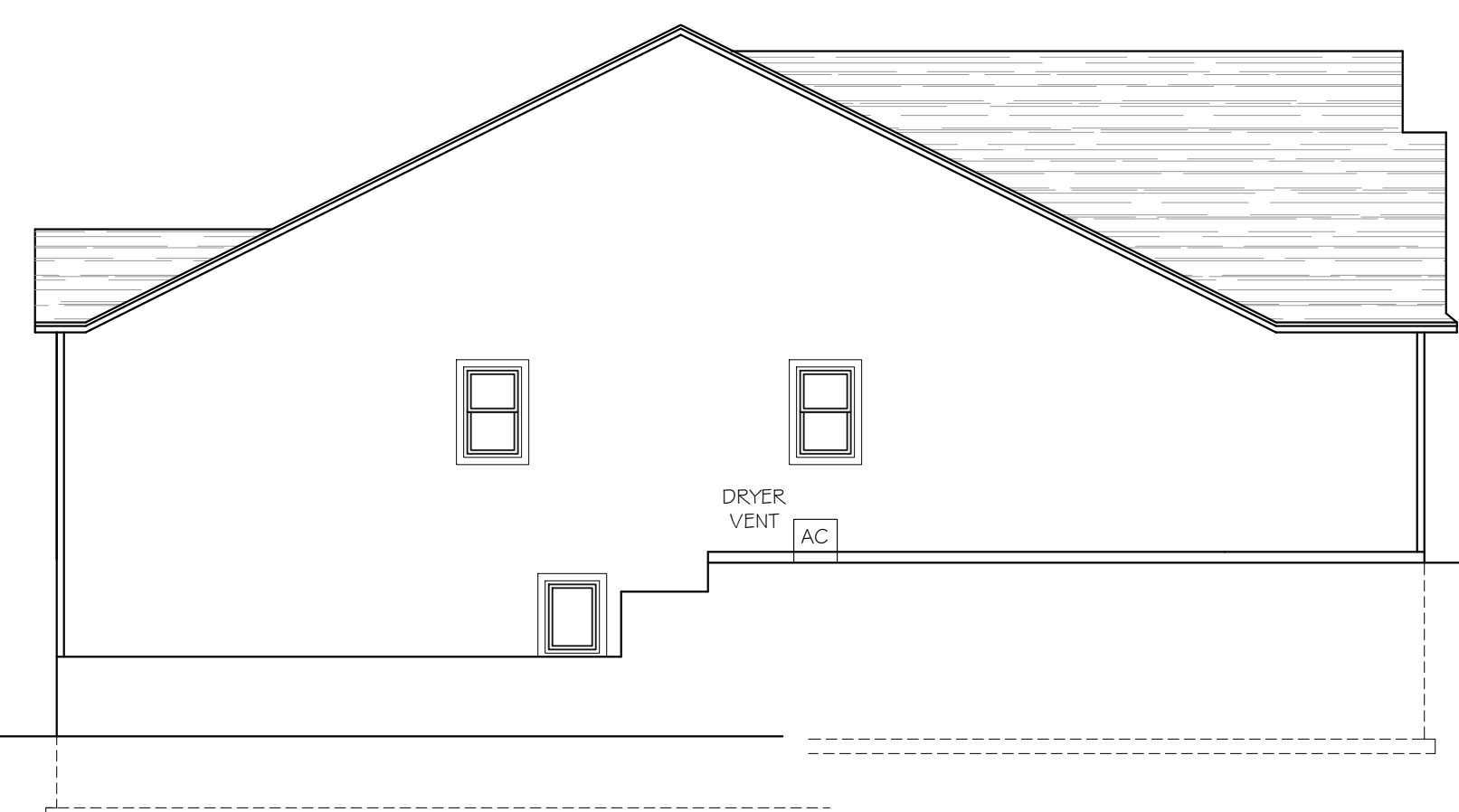
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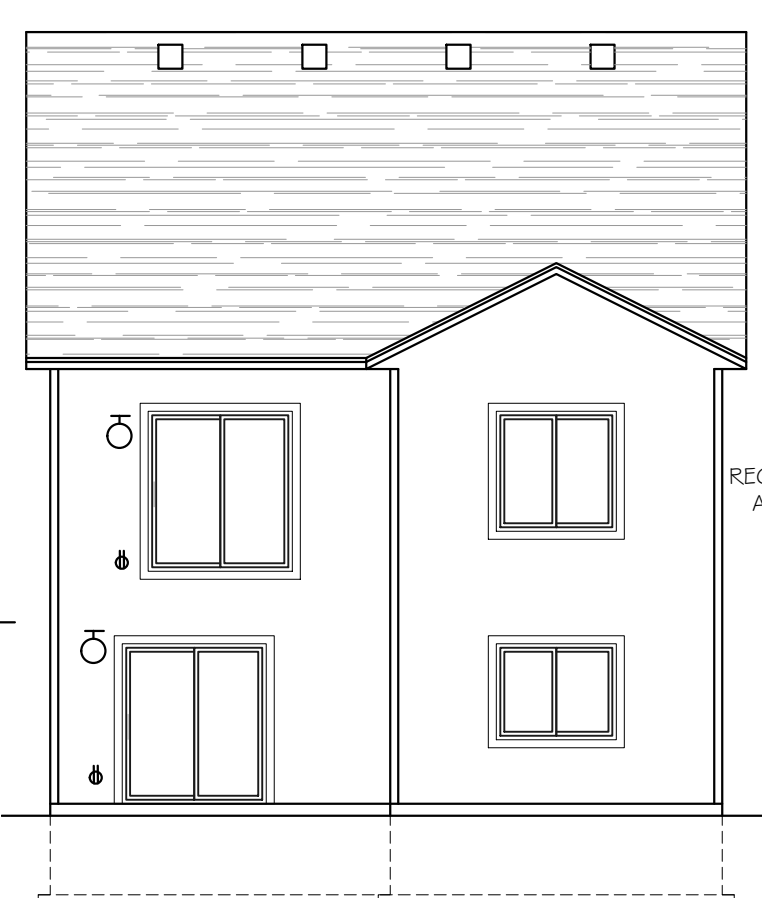
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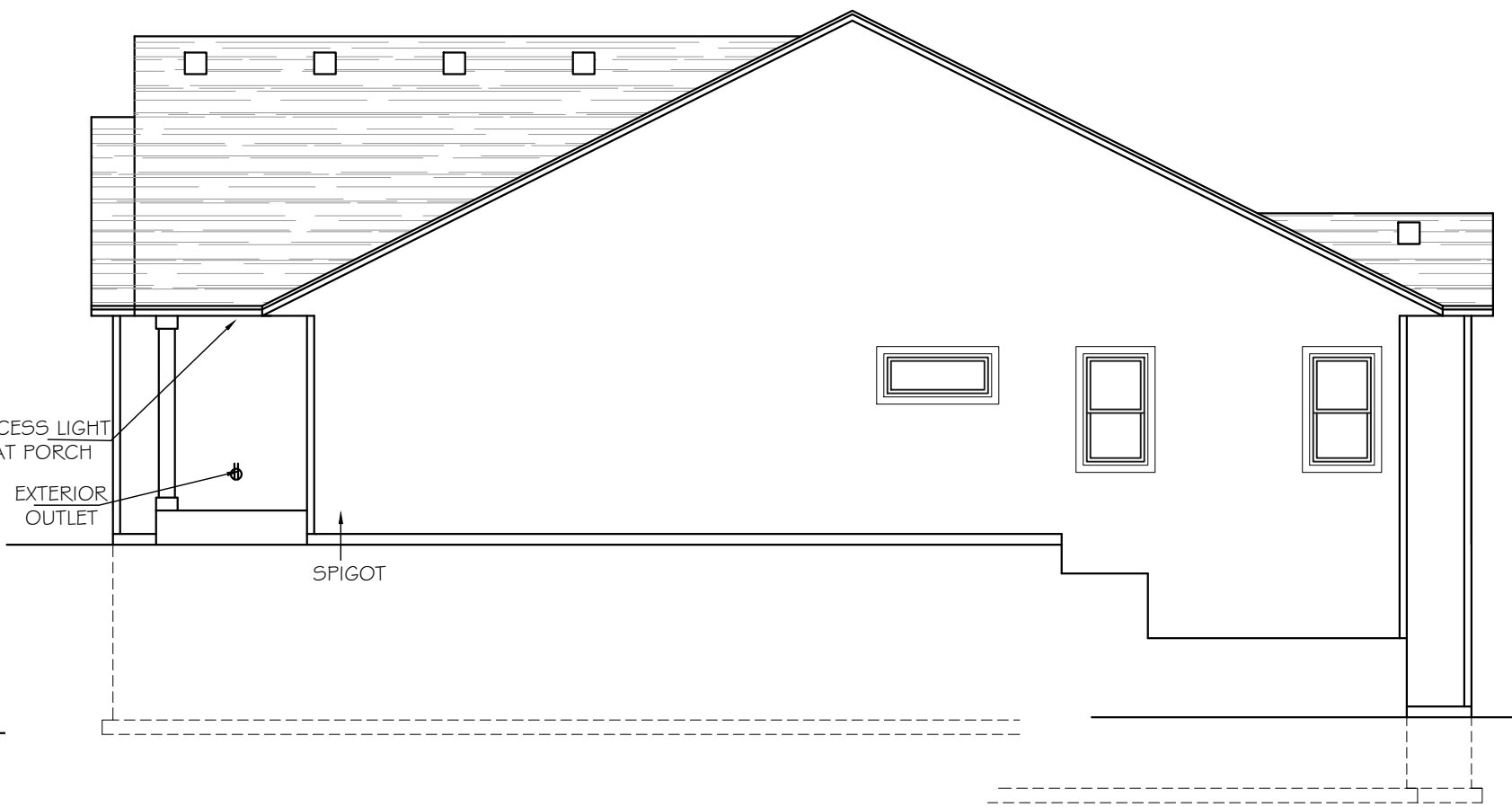
Fin Sq Ft:



LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"