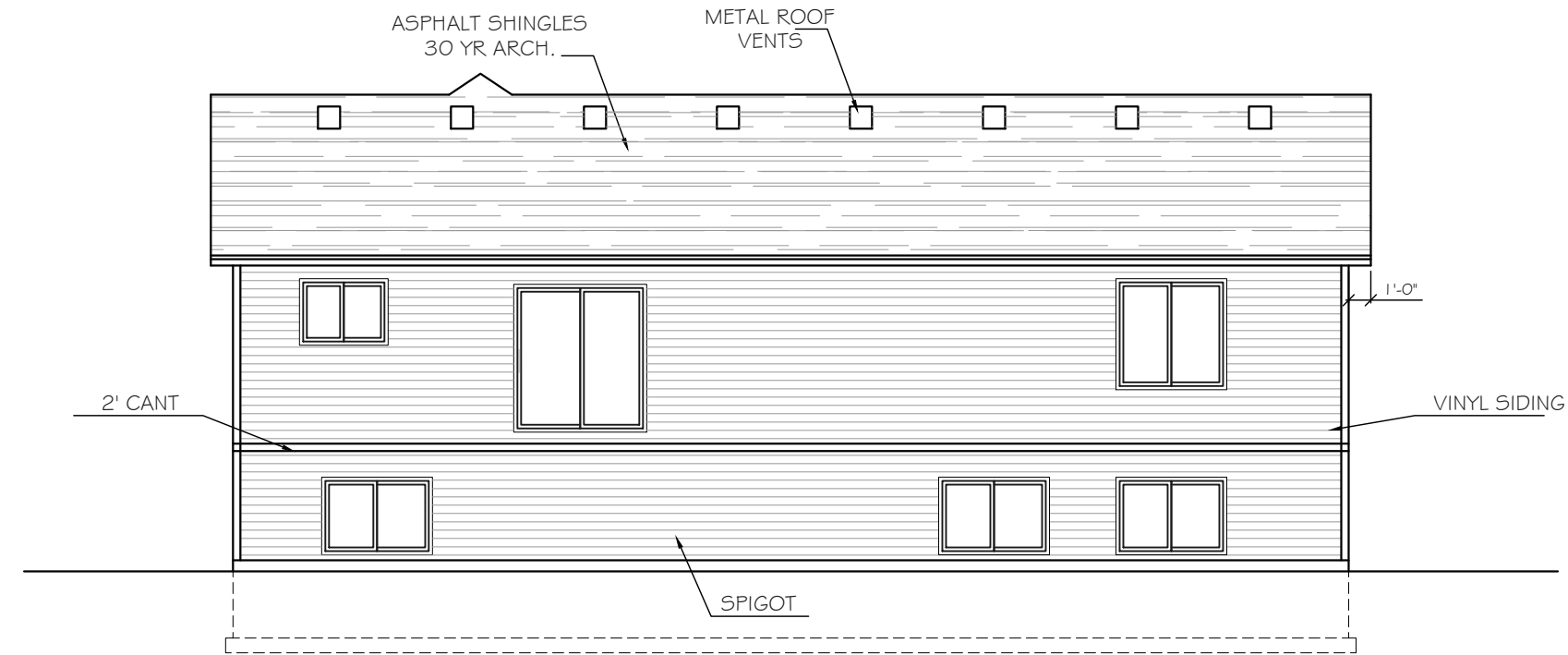
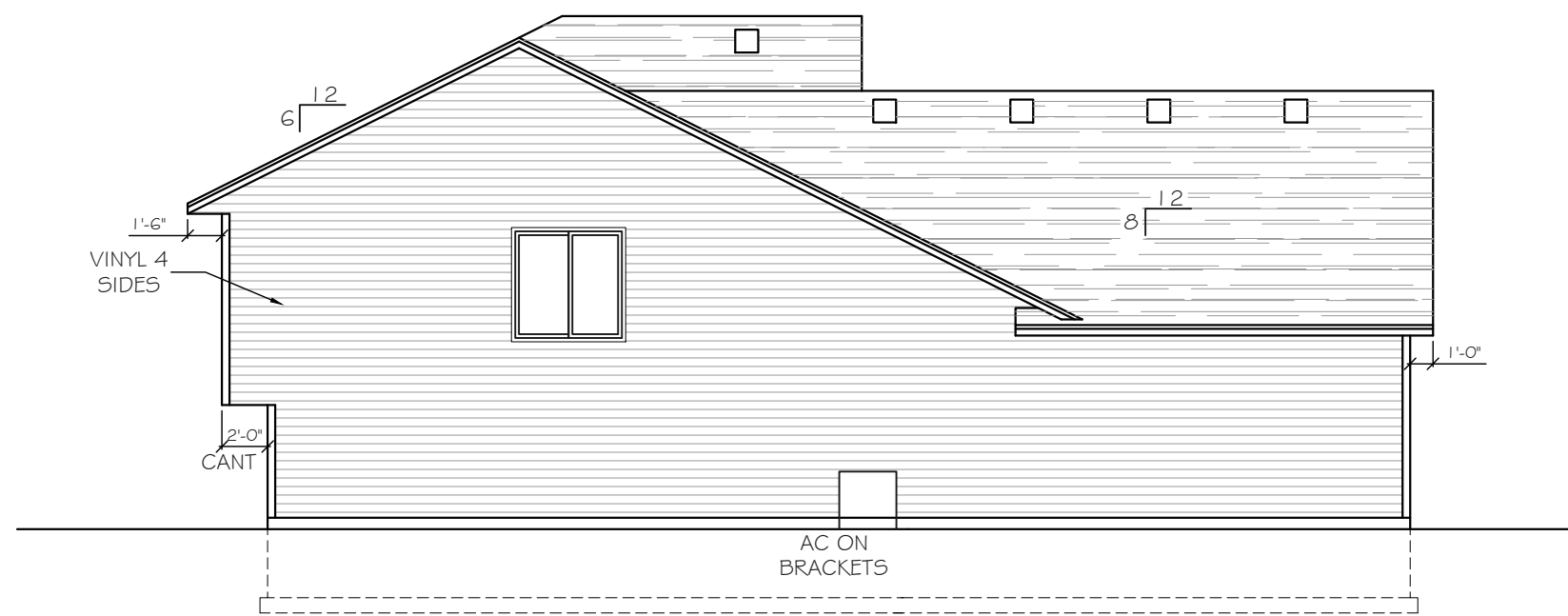


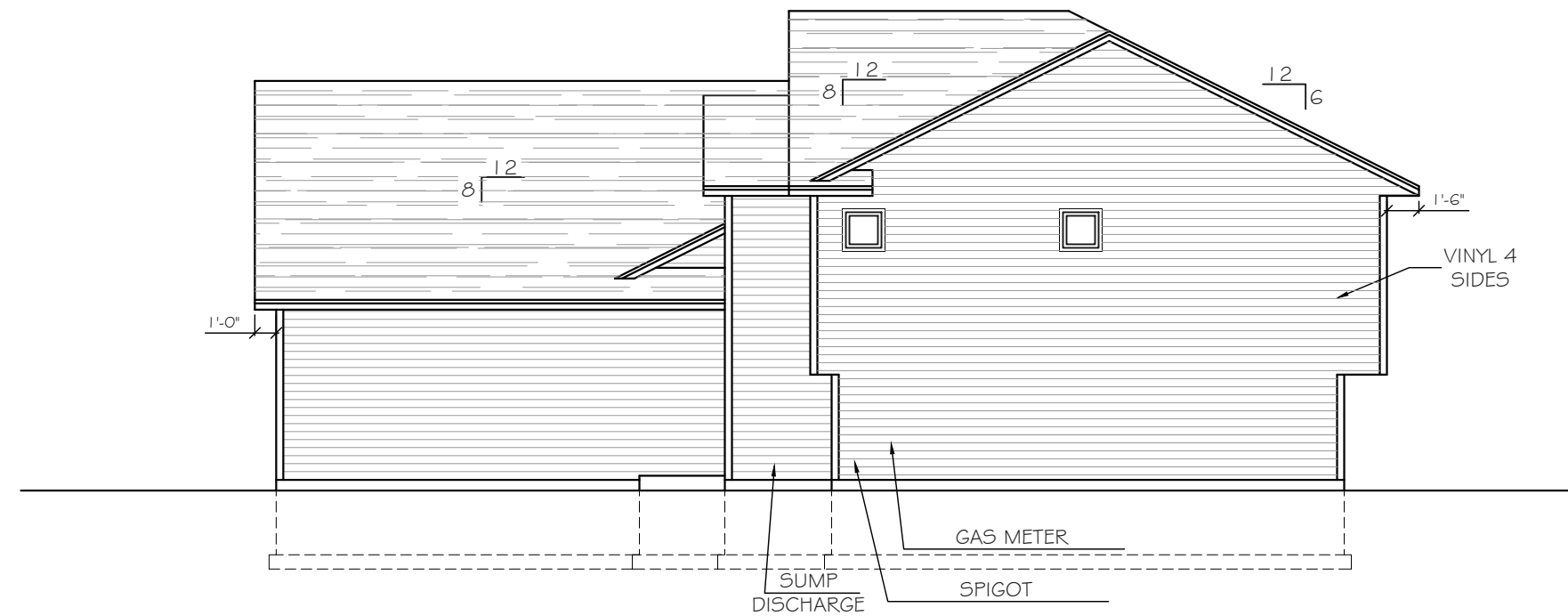
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 WI LIC: DC-070800080



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

CLIENT:
 Project:

LOCATION:
 LOT _ BLK_ DEVELOPMENT

Street
 CITY
 MN ZIP
 JOB #:

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REVISION 4	
REVISION 5	
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REVISION 8	
REVISION 9	
REVISION 10	
REVISION 11	
FINAL	12.1.23

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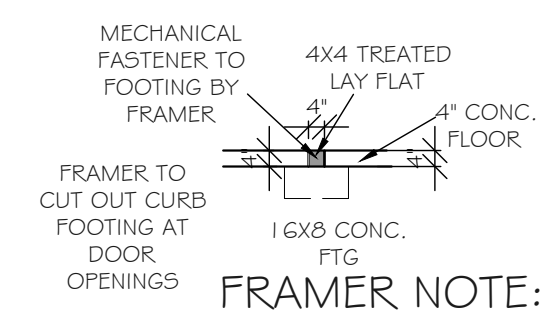
Homeowner Signature

Agent:
 Plan: SYCAMORE
 Total Foundation: 1917
 House Foundation: 1253
 Finished: 2346
 Unfinished: 271

Scale: 1/8" = 1'-0"

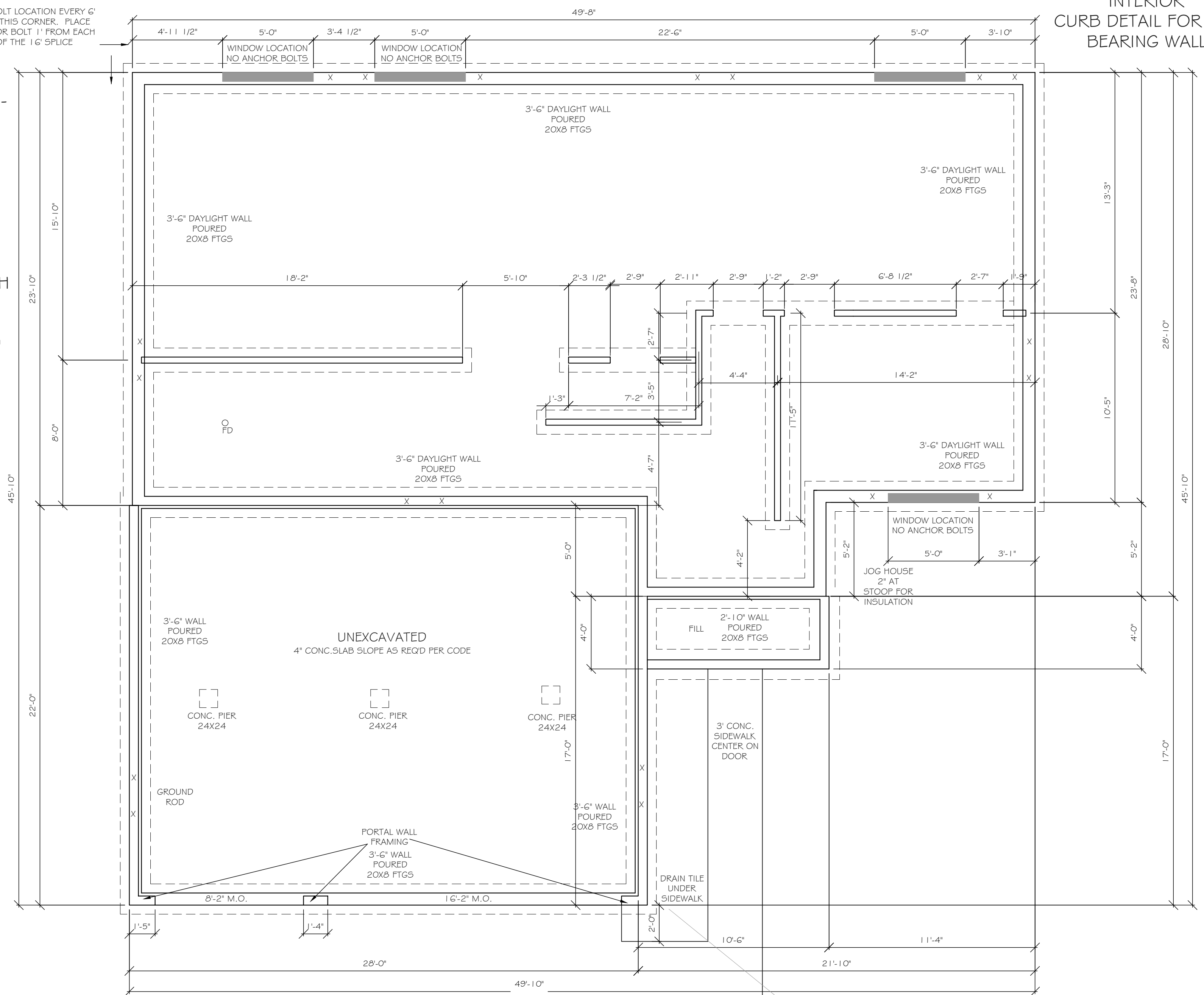
Fin Sq Ft: 2346

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*ANCHOR BOLTS PLACED ACCORDING TO IRC SECTION 404-R.404.1 (3) TABLE R404.1 (1)
 DOUBLES AT 16' PLATE SPLICES SO BOLT @ 15' & 17' (x x)
 ANCHOR BOLTS CENTER ON WALL WITH FOAM
 ANCHOR BOLTS 1 3/4" INSIDE FROM WALLS WITH NO FOAM

ANCHOR BOLT LOCATION EVERY 6' STARTING THIS CORNER. PLACE ONE ANCHOR BOLT 1' FROM EACH SIDE OF THE 16' SPLICE



FRAMER NOTE:
 INTERIOR
 CURB DETAIL FOR 2X4
 BEARING WALL

CLIENT:
 Project:
 LOCATION:
 LOT _ BLK_ DEVELOPMENT
 Street
 CITY
 MN ZIP
 JOB #:

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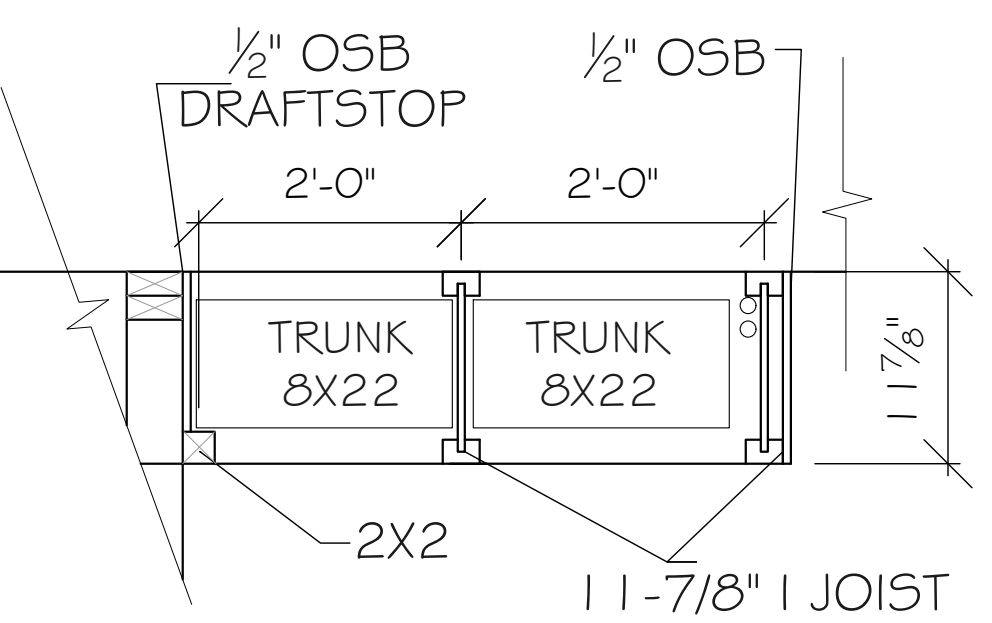
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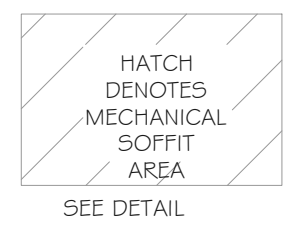
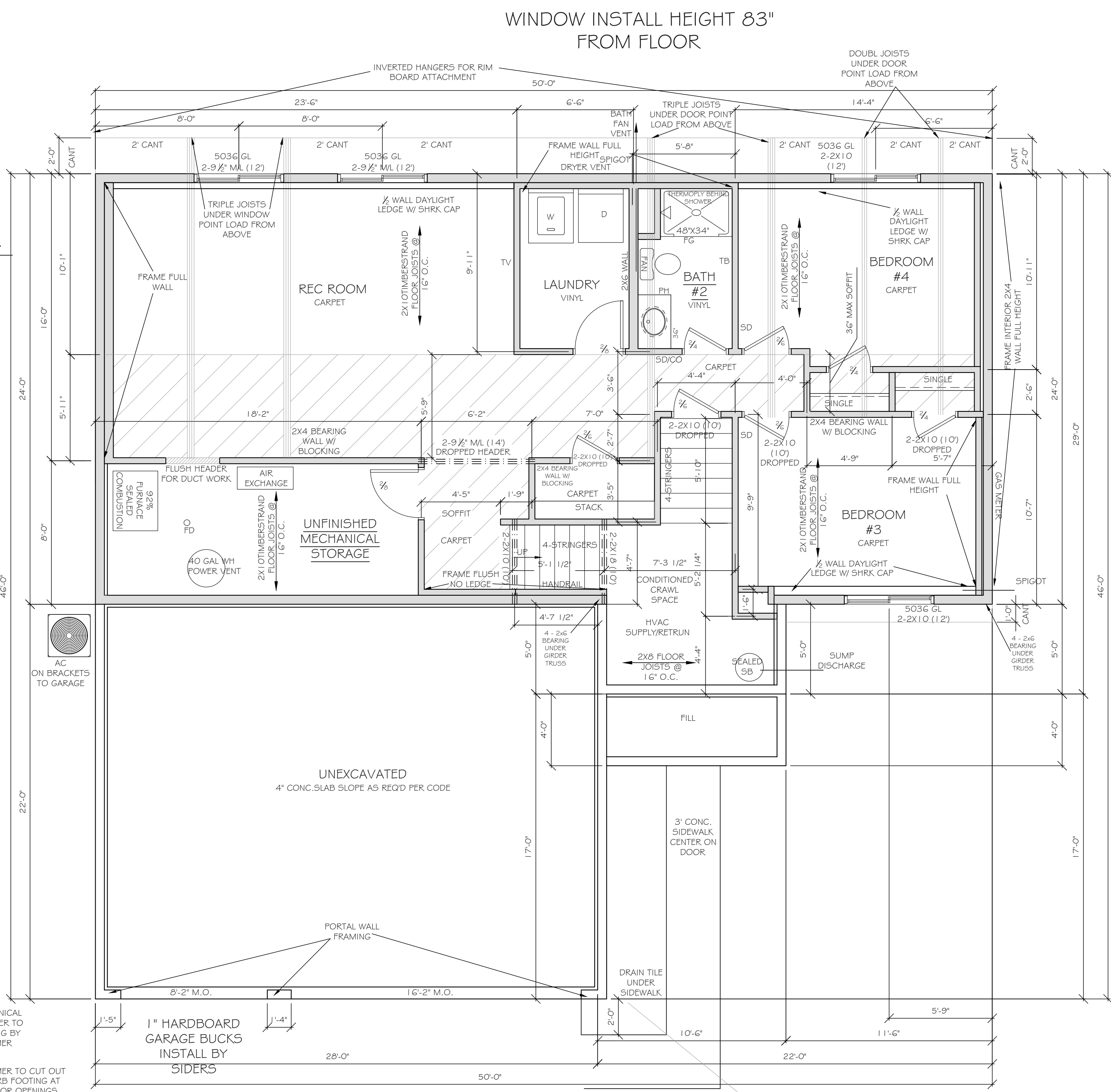
Scale: 1/4" = 1'-0"

Fin Sq Ft:

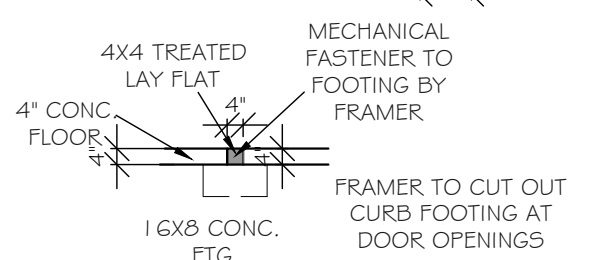
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MECHANICAL SOFFIT DETAIL
 1/2" = 1'-0"



FRAMER NOTE: ALL BRIDGING AND HANGERS GLUED



FRAMER NOTE: INTERIOR CURB DETAIL FOR 2X4 BEARING WALL

CLIENT:
 Project:

LOCATION:
 LOT _ BLK_ DEVELOPMENT

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Scale: 1/4" = 1'-0"

Fin Sq Ft: 982

WINDOW INSTALL HEIGHT 83"
FROM FLOOR

CABINET LAYOUT SEE
ATTACHMENTS IN SPECIFICATION
SHEETS

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REVISION 11

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Plan: SYCAMORE

Total Foundation: 1917

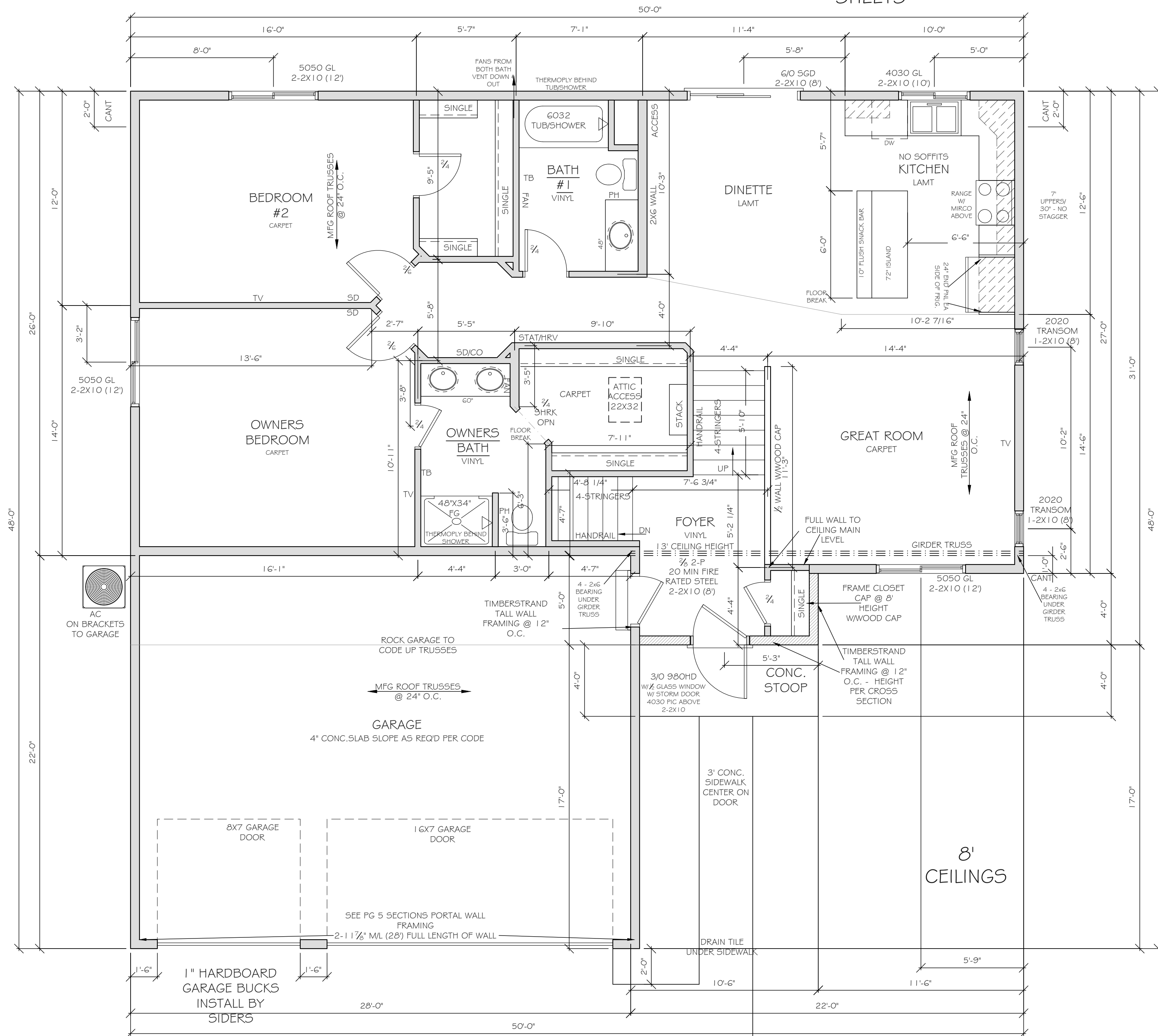
House Foundation: 1253

Finished: 2346

Unfinished: 271

Scale: 1/4" = 1'-0"

Fin Sq Ft: 1364



ALL STRUCTURAL LUMBER
 2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER
 ALL 2X4 AND 2X6 STUDS WILL BE WESTERN
 WHITES NO. 2 OR BETTER

WINDOWS ARE MAXIMUM OF .30
 U-VALUE WITH MAXIMUM SHGC .29
 WINDOW FALL PROTECTION PER
 R312.2.1 AND R312.2.2
 PATIO DOORS .30U AND .26 SHGC
 ALL STEEL DOORS .19U

75% OF THE BULBS IN PERMANENTLY INSTALLED
 LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS
 REQUIREMENT APPLIES TO INDOOR AND
 OUTDOOR FIXTURES, INCLUDING ACCESSORY
 STRUCTURES AND GARAGES. HIGH EFFICACY
 BULBS ARE: 60 LUMENS/W FOR LAMPS OVER
 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO
 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

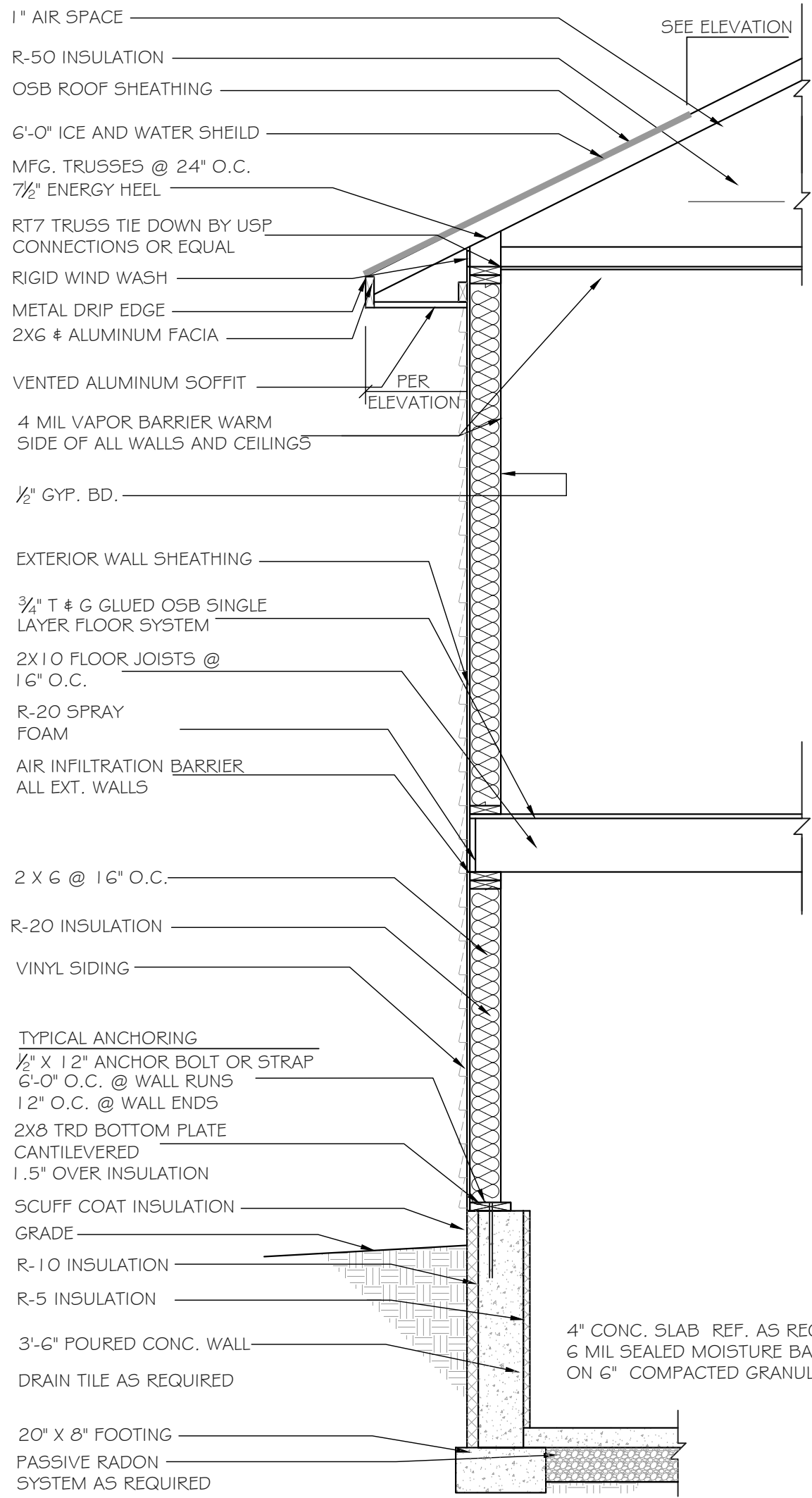
R 404.1 LIGHTING EQUIPMENT
 A MINIMUM OF 75 PERCENT OF THE LAMPS IN
 PERMANENTLY INSTALLED LIGHTING FIXTURES
 SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM
 OF 75 PERCENT OF THE PERMANENTLY INSTALLED
 LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH
 EFFICACY LAMPS.

**NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY
 INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION
 W/ 6 MIL POLY SLIP SHEATHING OVER TOP. ANY QUESTIONS
 REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE
 DIRECTED TO BRET JUENKE #651-463-9333

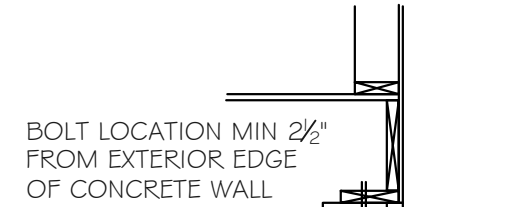
**NOTE: APPROVED VAPOR RETARDER WITH JOINTS
 LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL
 LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2012

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT
 1/2 IN ROOF NEAR RIDGE
 FLASH ABOVE ALL EXTERIOR OPENINGS
 SHINGLES PER ELEVATION/SPECS.
 15# FELT
 1/2" ROOF SHEATHING



RADON VENT PIPE TERMINATED AT
 LEAST 12" ABOVE SURFACE OF ROOF
 MINIMUM 3" ABS OR PVC OR
 EQUIVALENT GAS TIGHT PIPE
 4" PIPE MAY BE MORE EFFECTIVE, BUT
 NOT REQUIRED
 SPACE PROVIDED FOR INSTALLATION
 OF A FAN
 - MINIMUM 24" DIAMETER CENTERED
 ON THE AXIS OF THE VENT STACK
 - MINIMUM VERTICAL DISTANCE OF 3
 FEET



SIDE FOUNDATION
 WALLS - NON BEARING
 EXTERIOR FOUNDATION
 WALLS

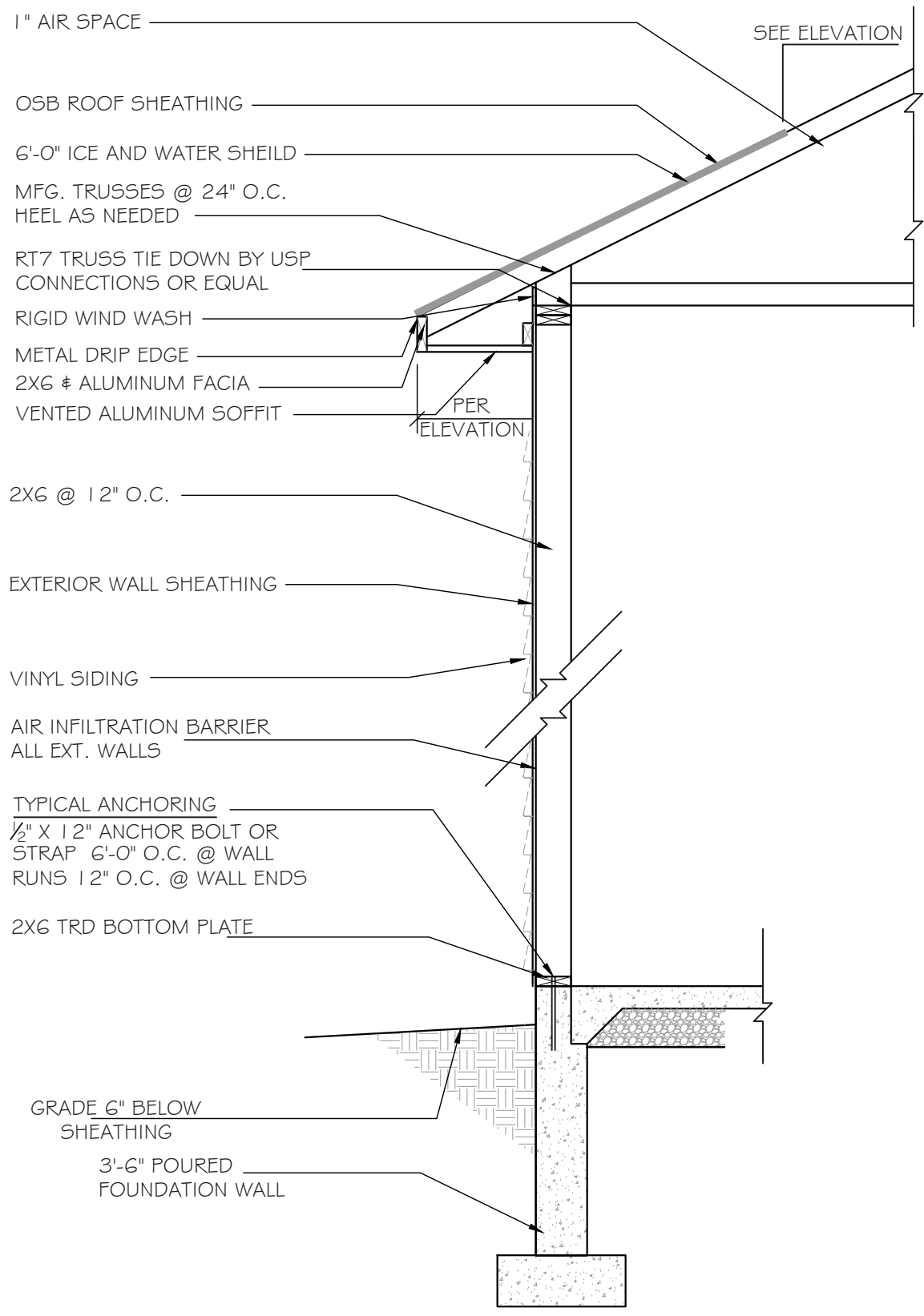
4" CONC. SLAB REF. AS REQ. ON
 6 MIL SEALED MOISTURE BARRIER
 ON 6" COMPACTED GRANULAR FILL

GARAGE AND WALKOUT
 FOOTINGS @ 42" MIN.
 BELOW GRADE

DAYLIGHT WALL

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL
 LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT
 1/2 IN ROOF NEAR RIDGE
 FLASH ABOVE ALL EXTERIOR OPENINGS
 SHINGLES PER ELEVATION/SPECS.
 15# FELT
 1/2" ROOF SHEATHING



EXTERIOR
 GARAGE WALL

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MN LIC: BC631164
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CLIENT:
 Project:

LOCATION:
 LOT_BLK_
 DEVELOPMENT

Street
 CITY
 MN ZIP
 JOB #:

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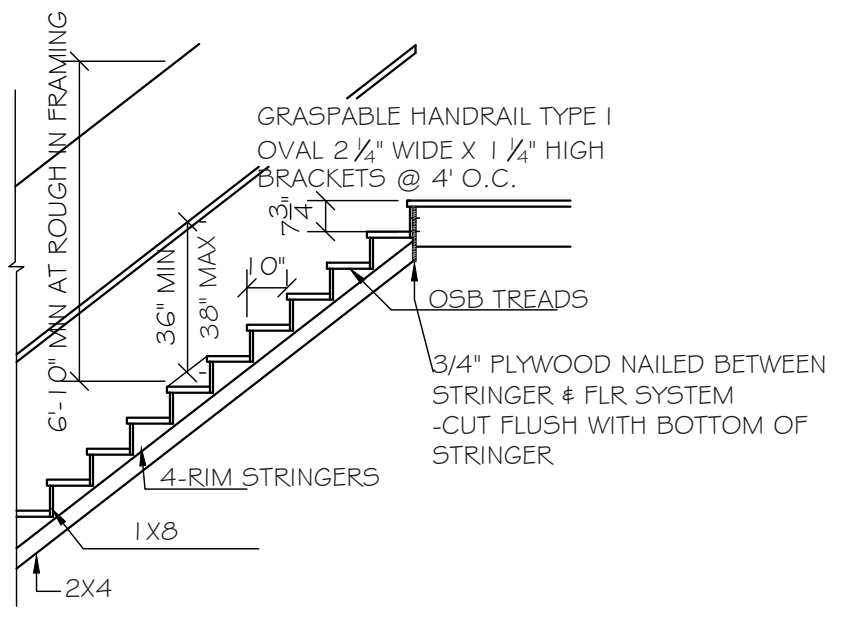
All changes after above
 date will be done
 according to F.F.H.
 Change Order Policy

Homeowner
 Signature

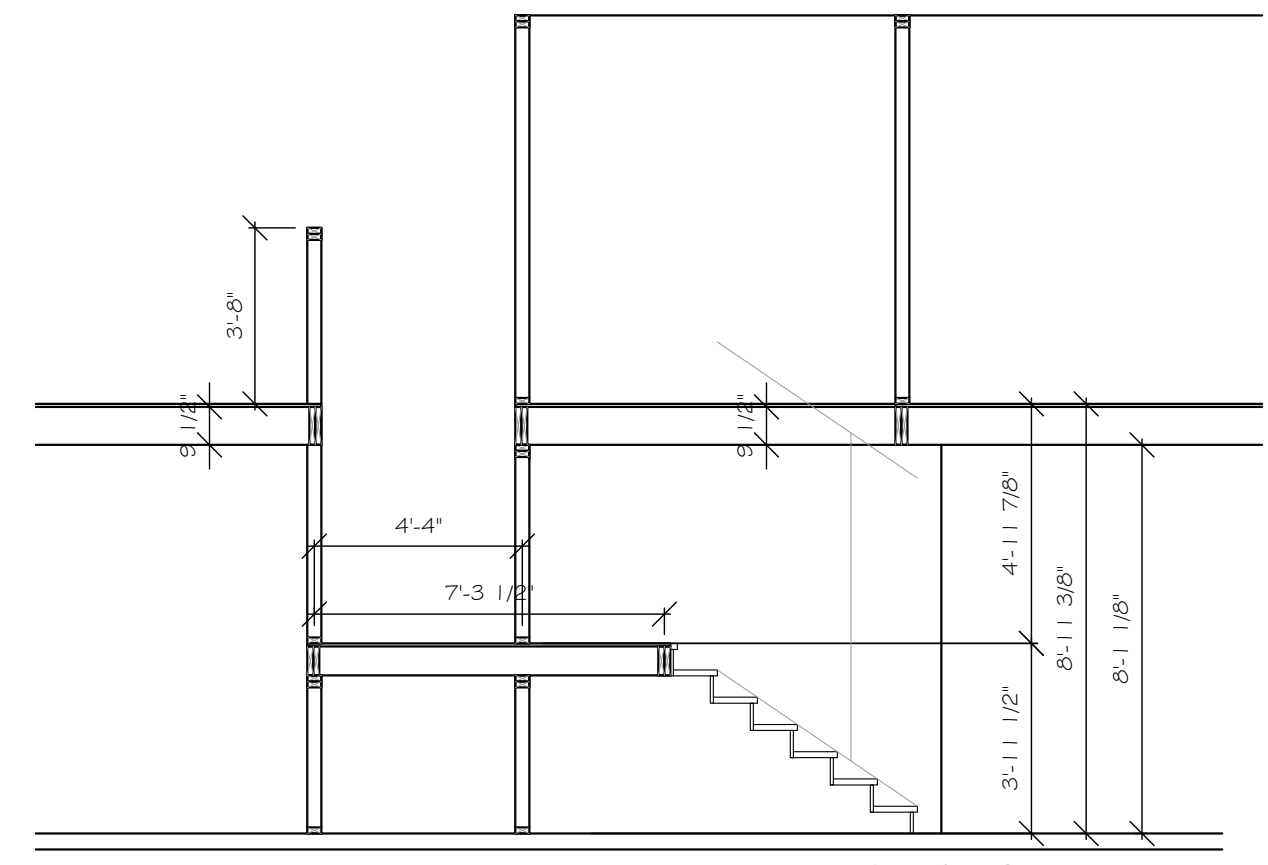
Agent:
 Plan: SYCAMORE
 Total Foundation: 1917
 House Foundation: 1253
 Finished: 2346
 Unfinished: 271

Scale: 1/4" = 1'-0"

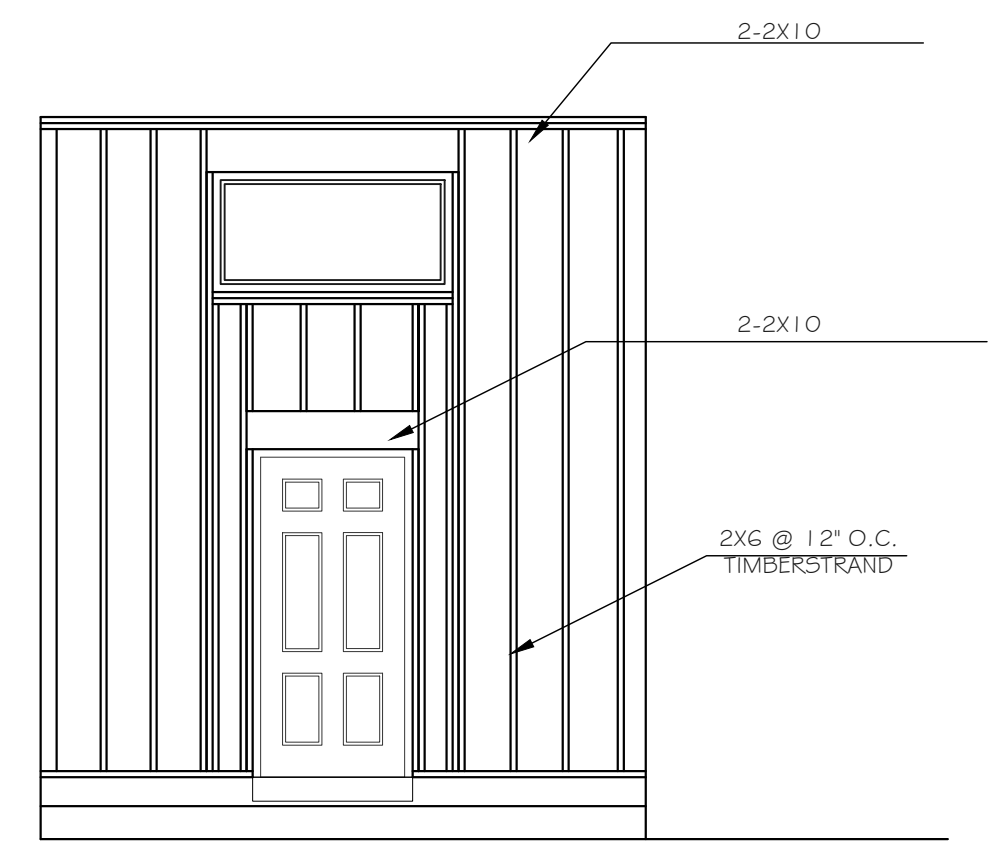
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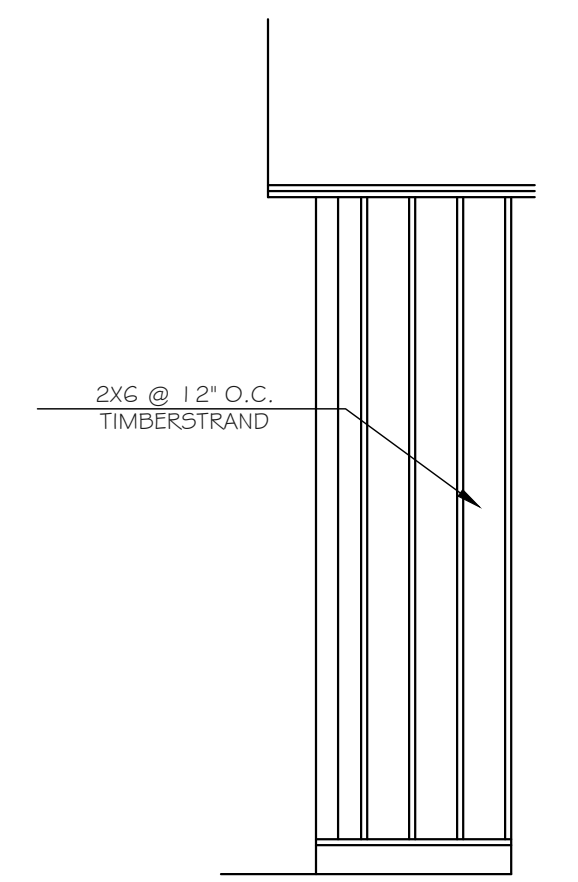
INTERIOR
 STAIR DETAIL



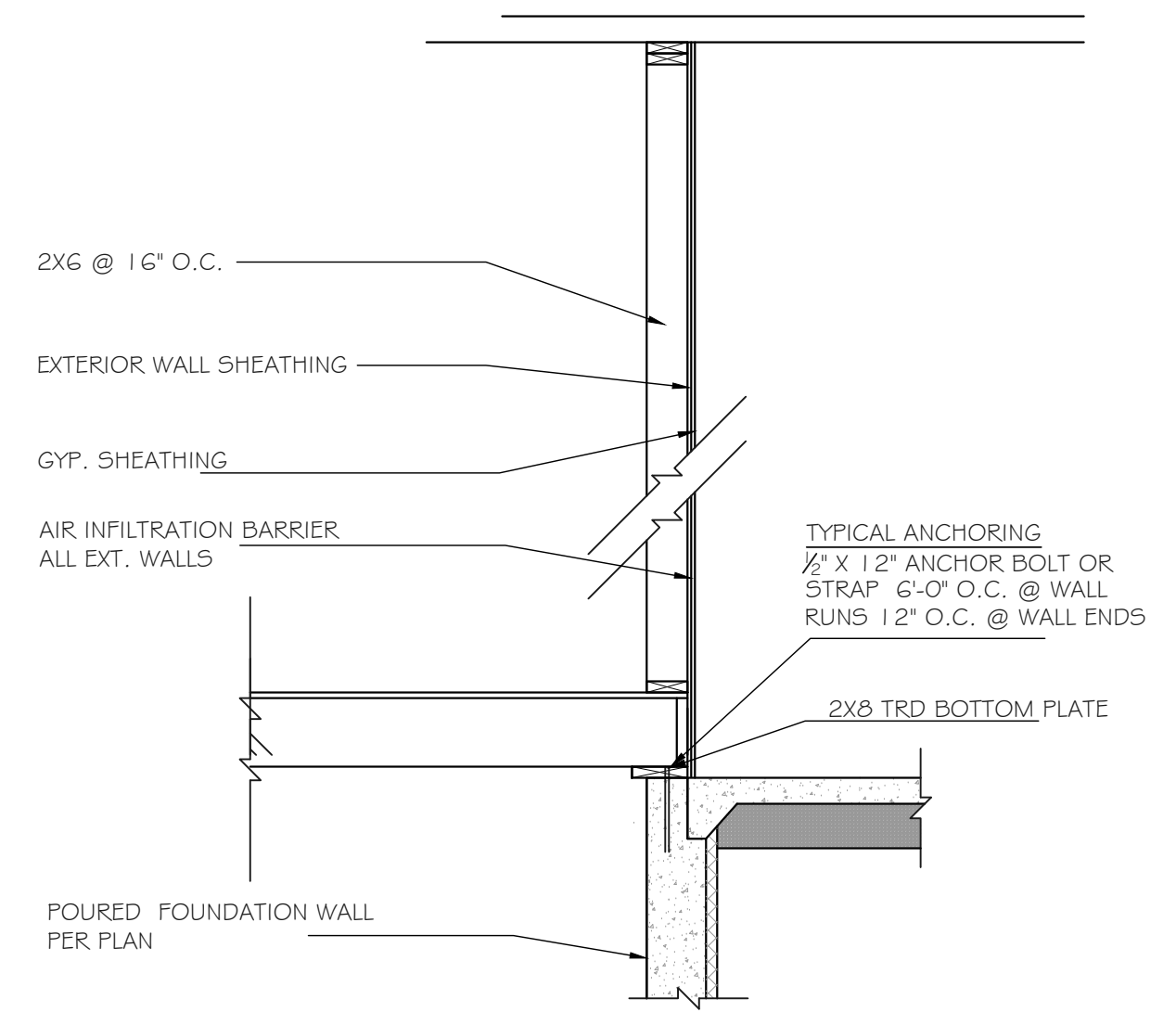
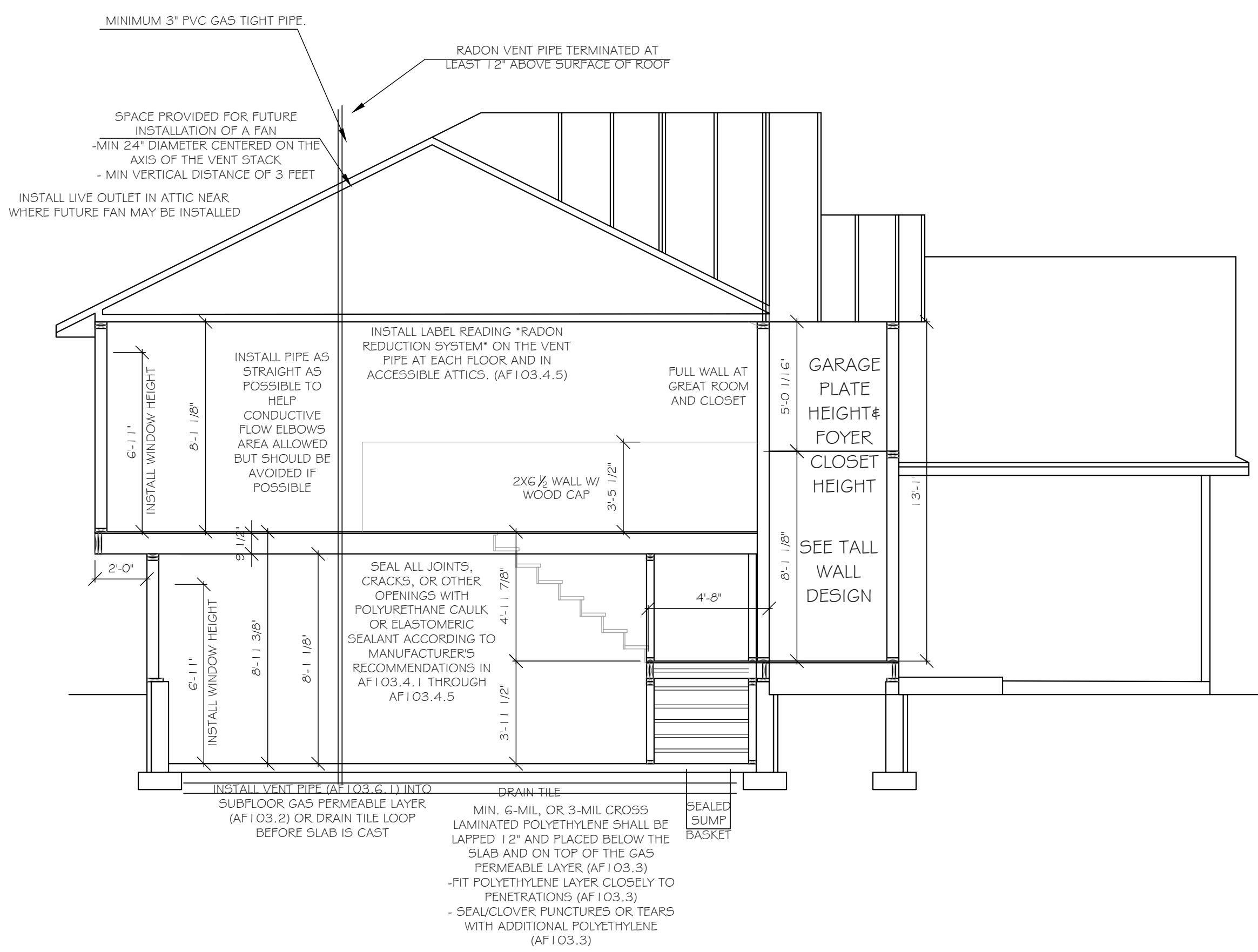
STAIR DETAIL



FRONT DOOR
 TALL WALL FOYER



TALL WALL
 SIDE OF FOYER



GARAGE
 COMMON WALL

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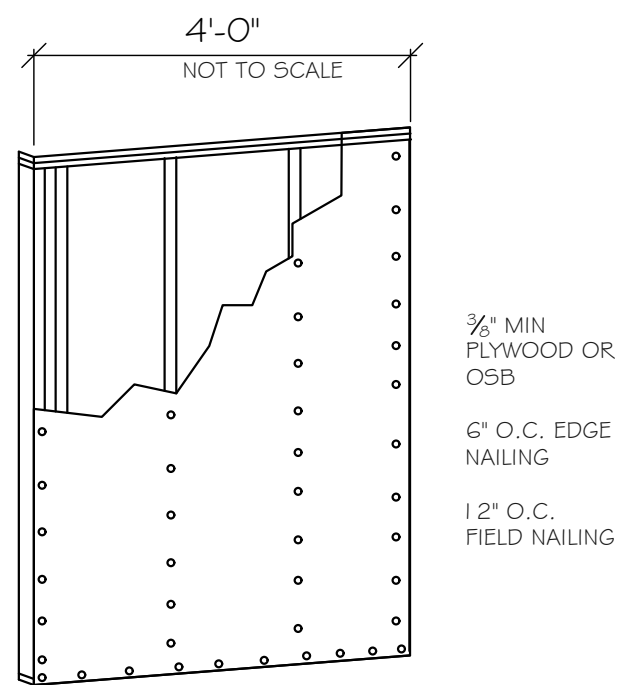
House Foundation: 1253

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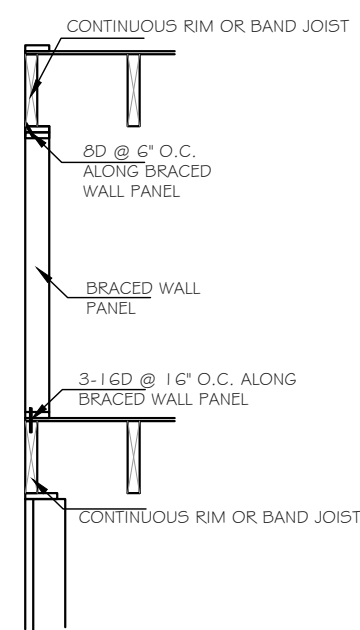
Unfinished: 271

Scale: 1/4" = 1'-0"

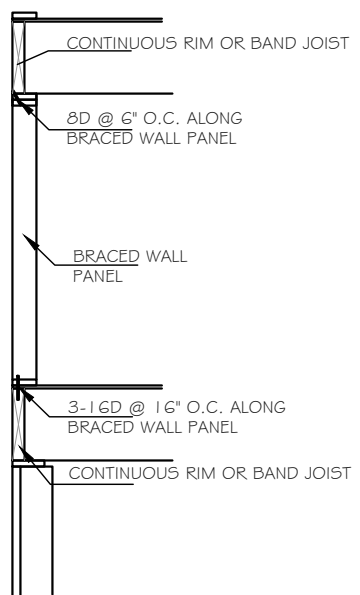
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BRACE WALL PANELS: CS WSP NOT TO SCALE

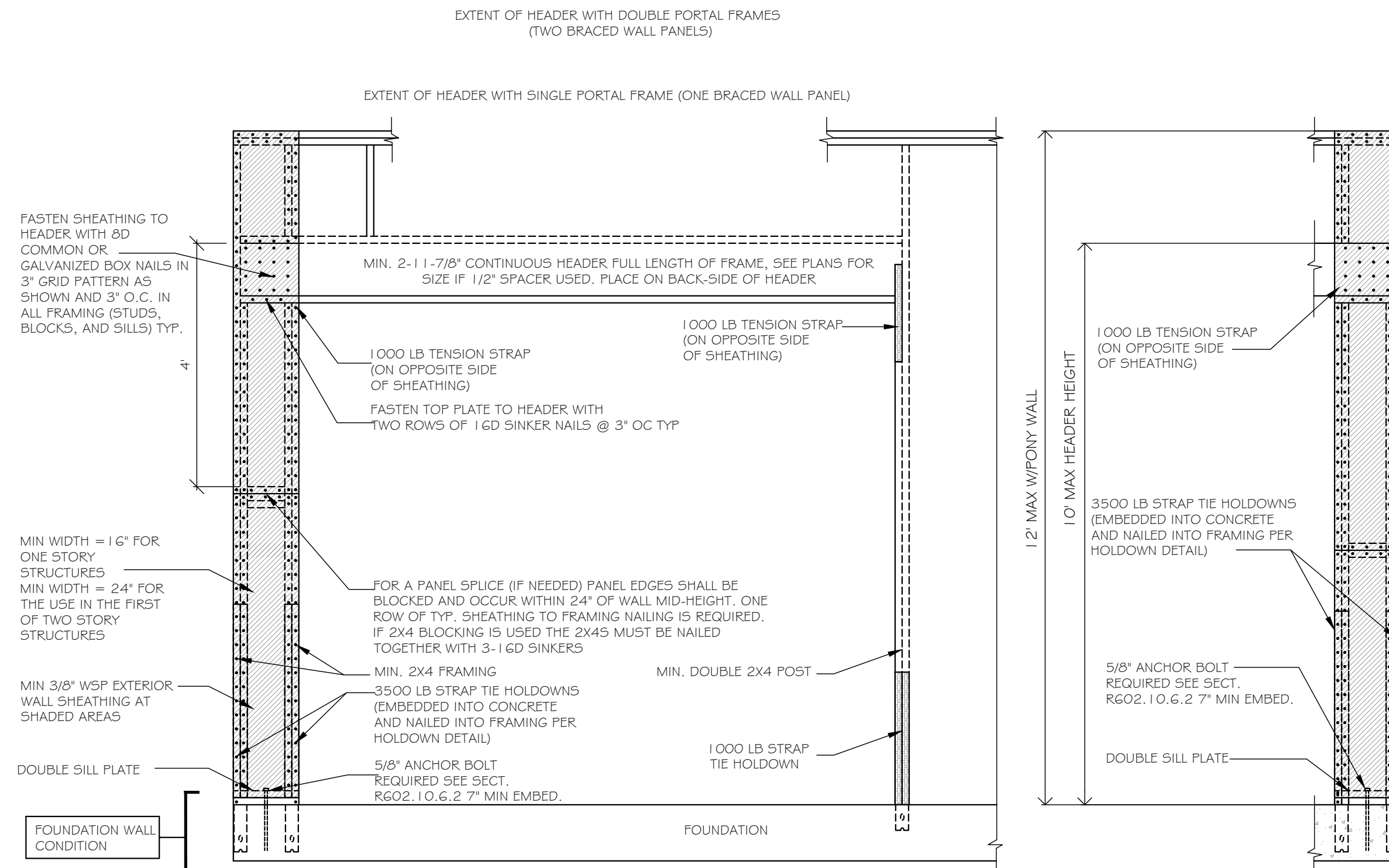


PARALLEL FRAMING

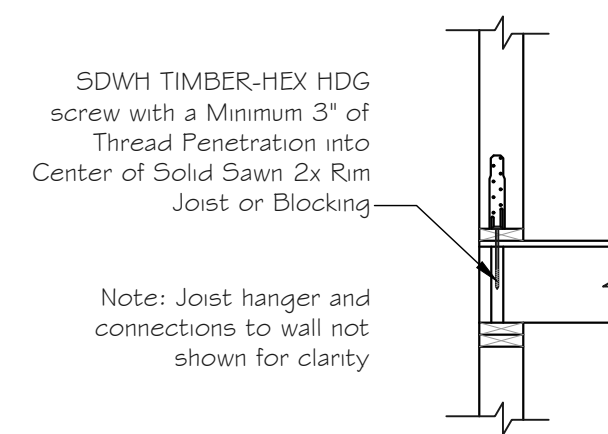


PERPENDICULAR FRAMING

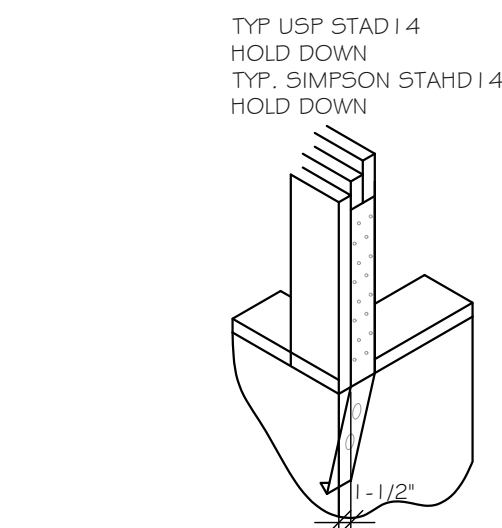
— = BRACED WALL PANEL



PORTAL WALL FRAMING DETAIL FOR GARAGE



DTT I Z HOLD DOWN FOR WIND BRACING



GARAGE PIER HOLD DOWN DETAIL

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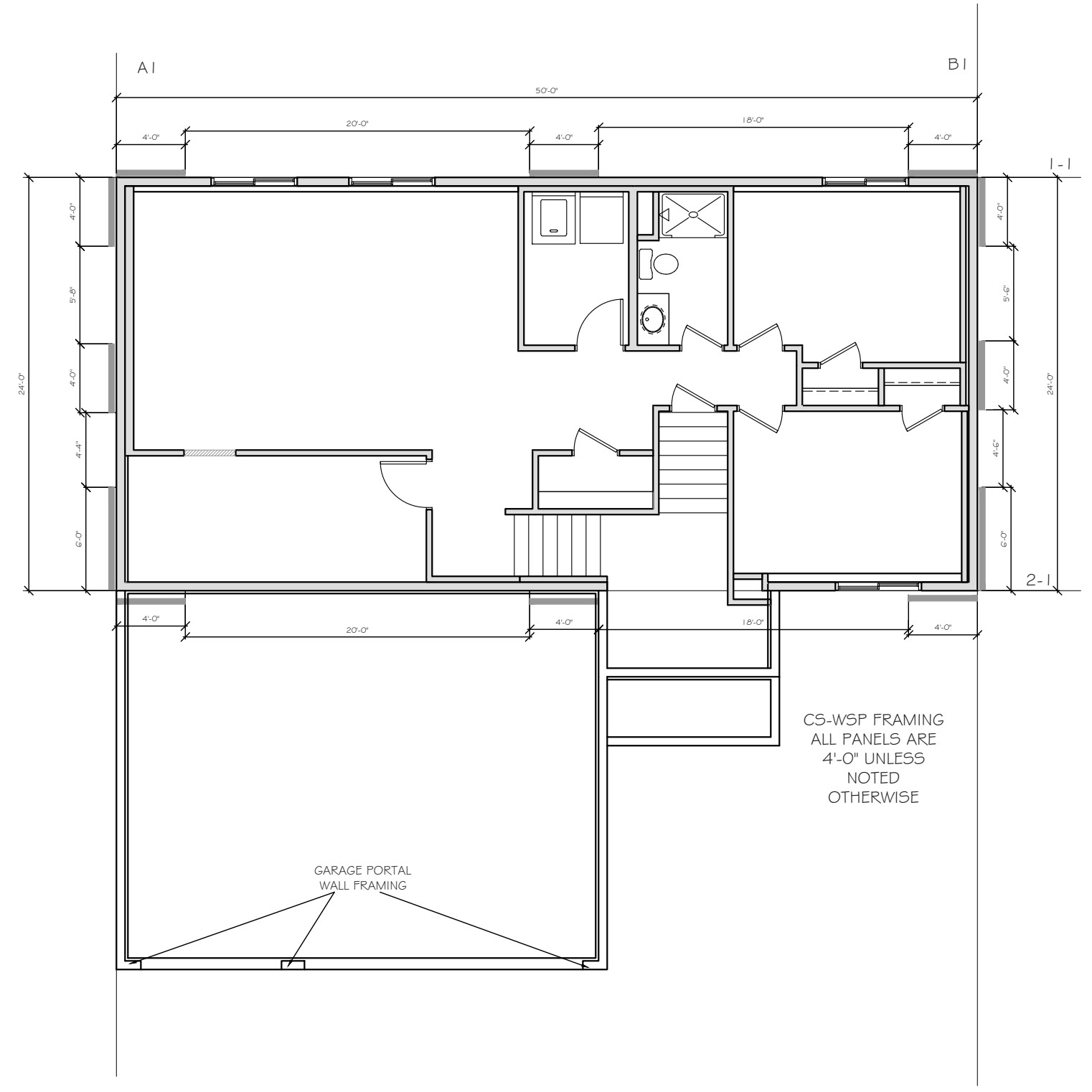
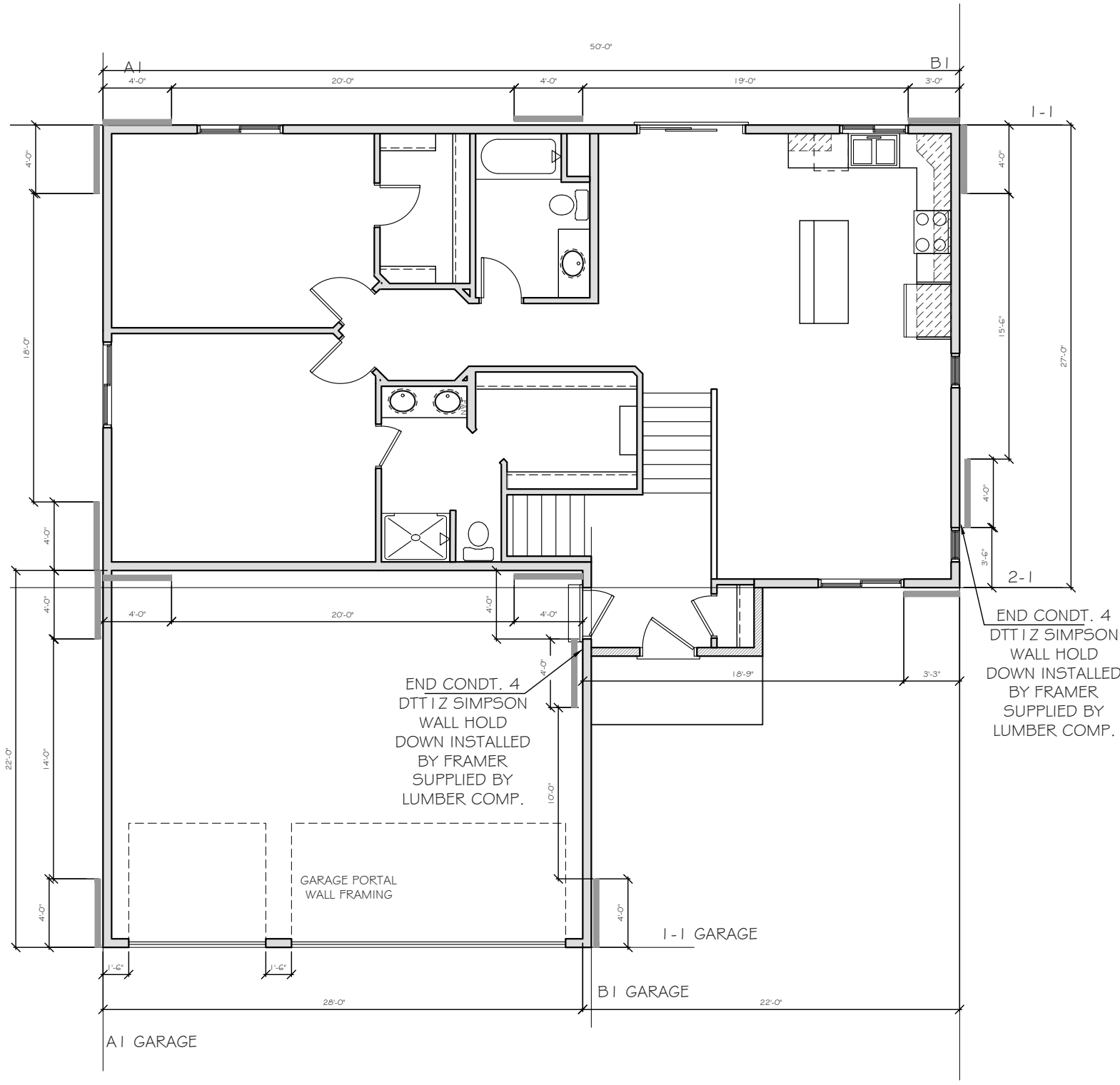
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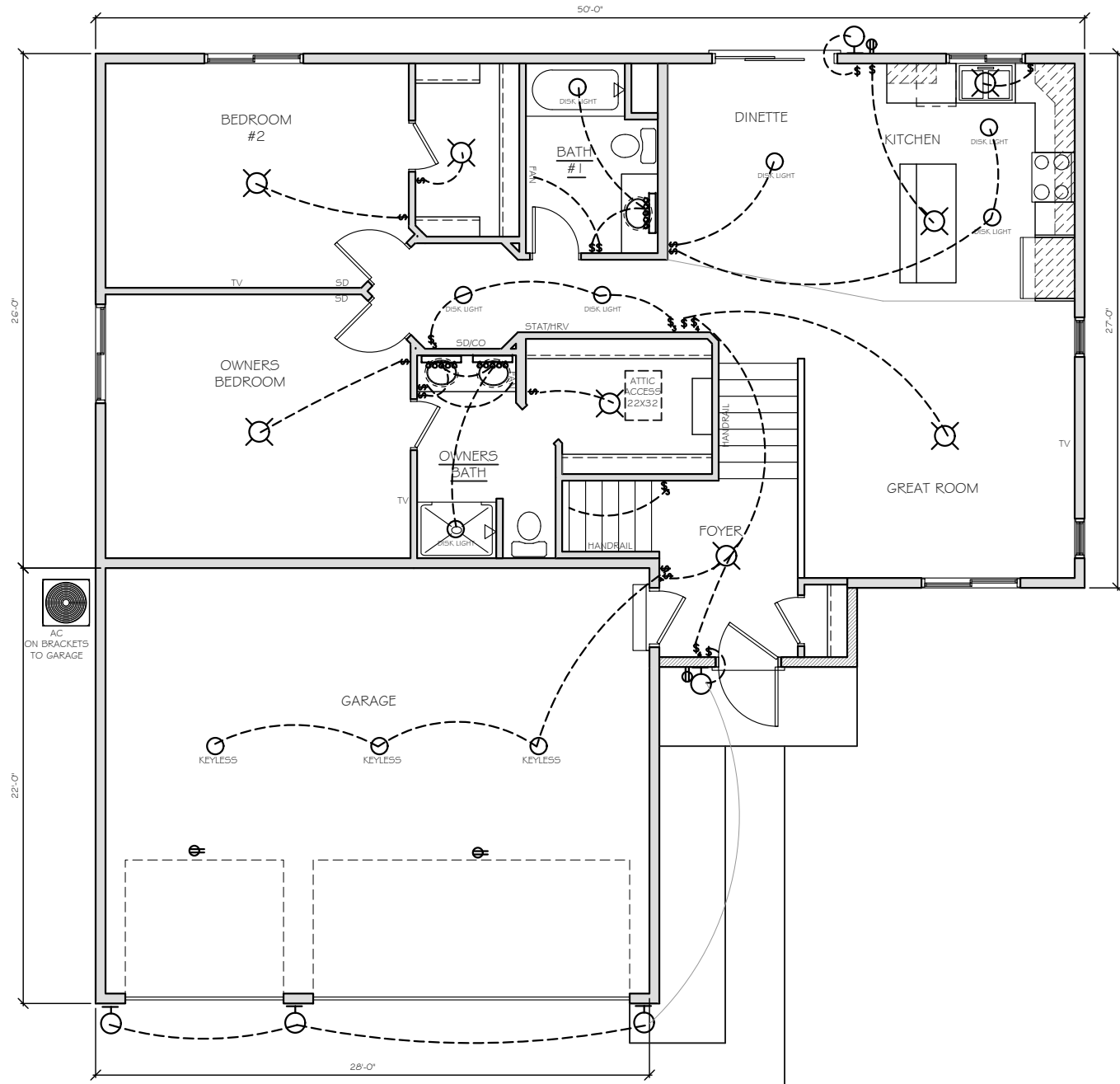
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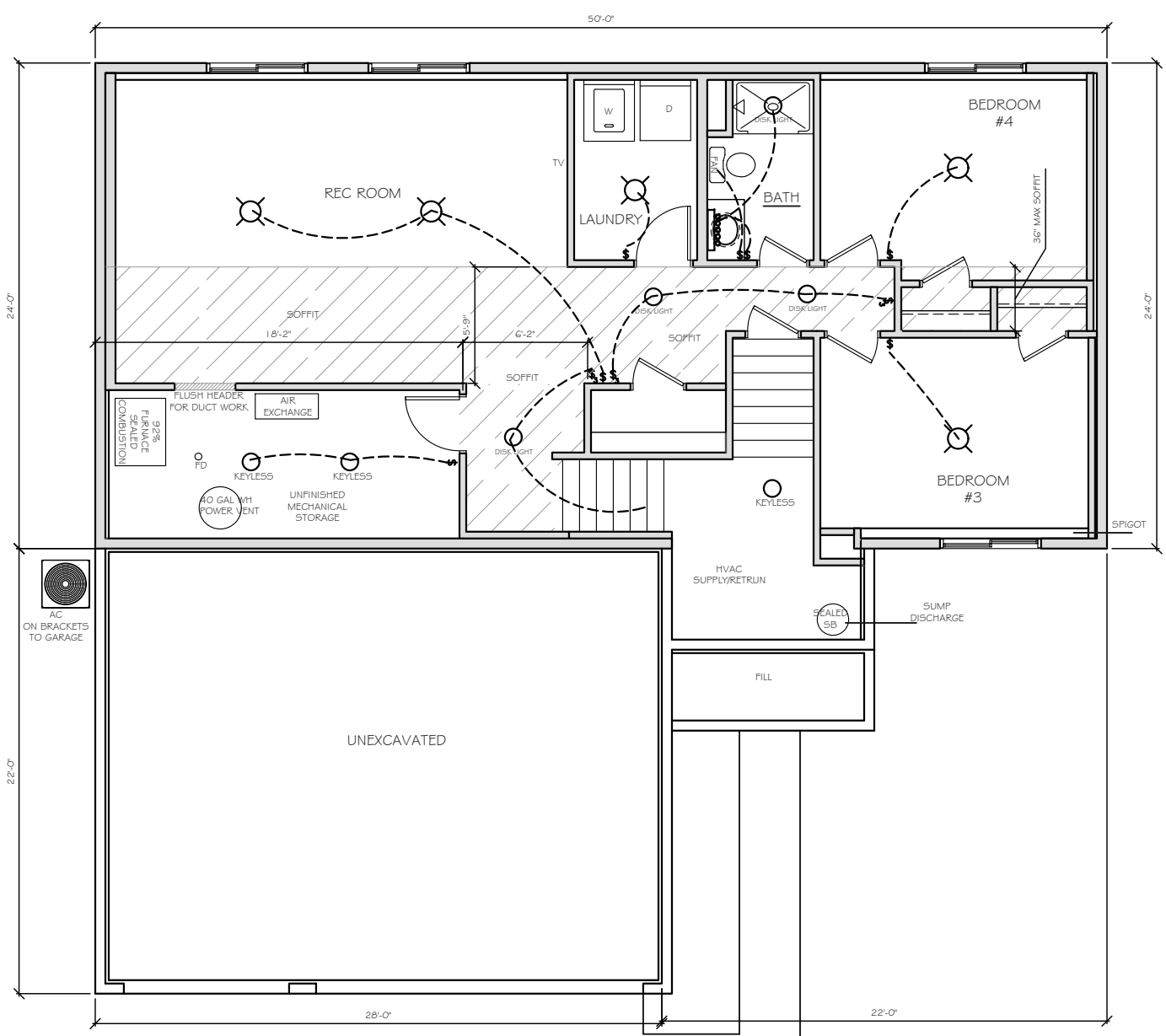
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Fin Sq Ft:

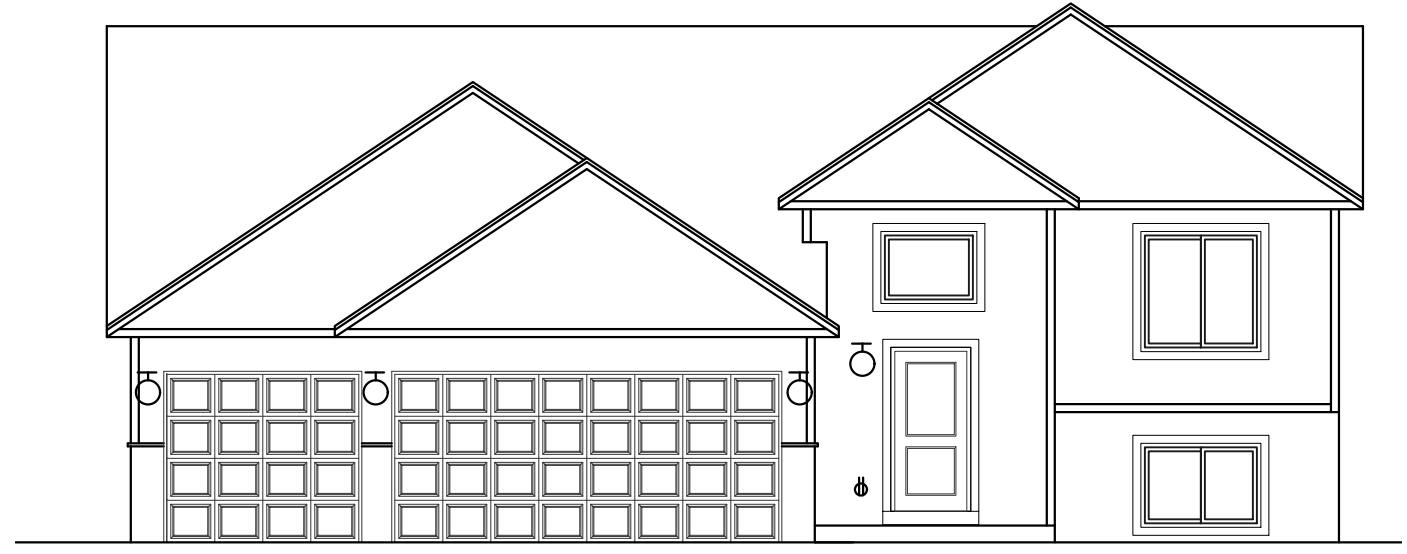




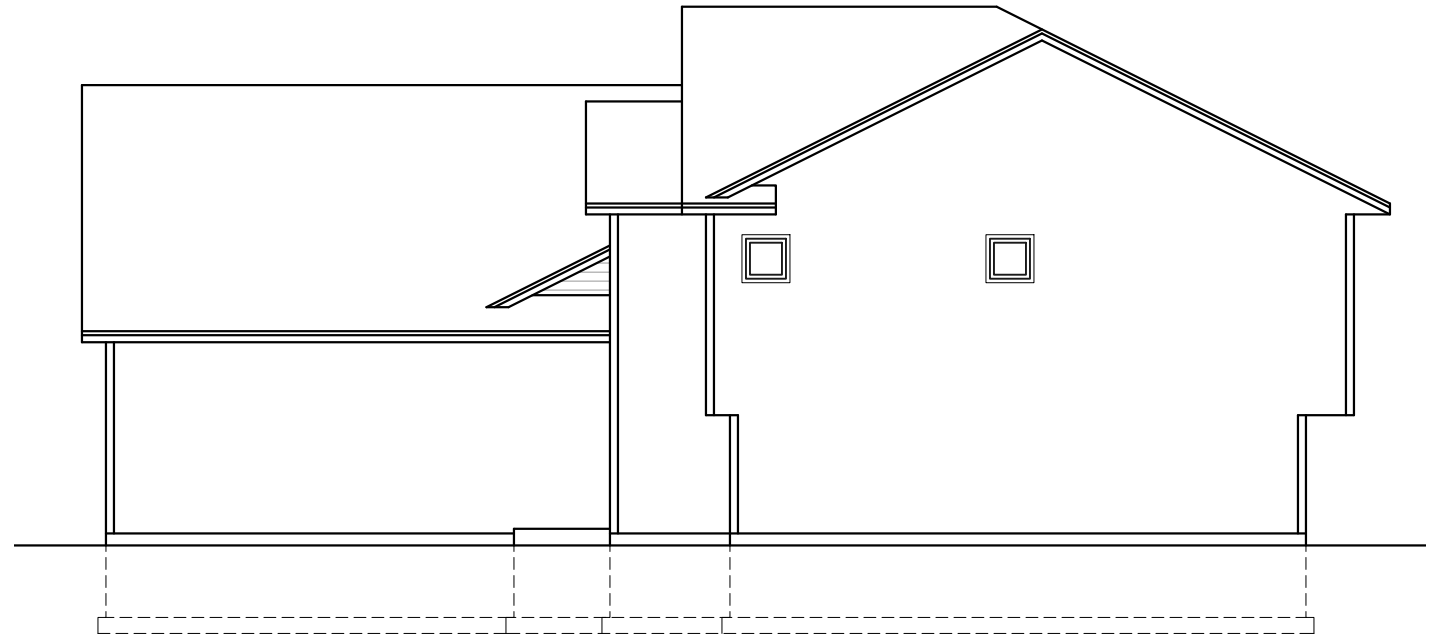
MAIN LEVEL
SCALE: 1/8" = 1'-0"



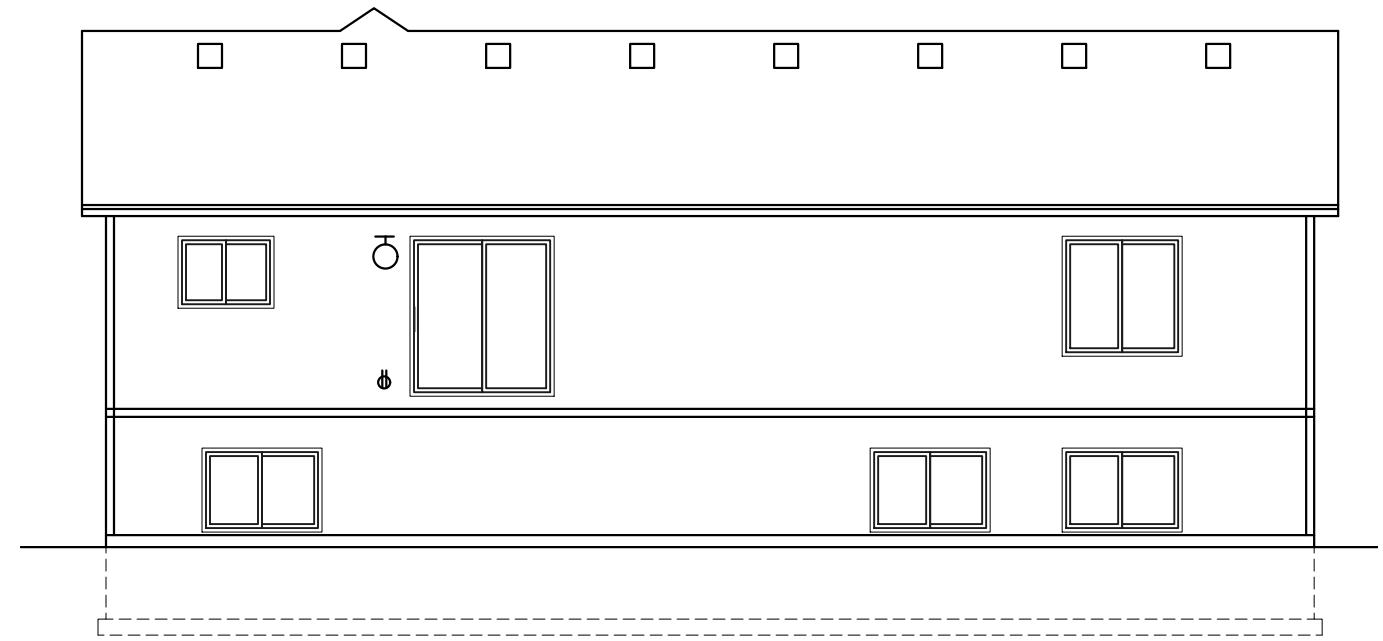
LOWER LEVEL
SCALE: 1/8" = 1'-0"



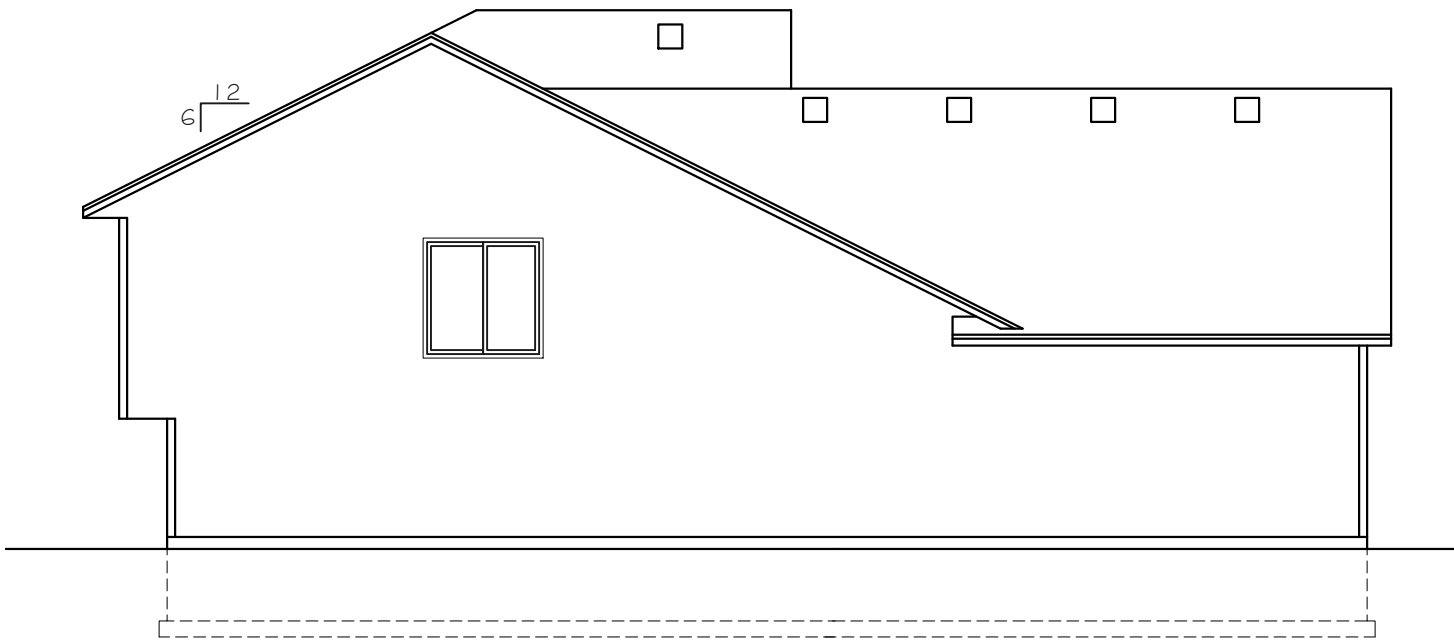
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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