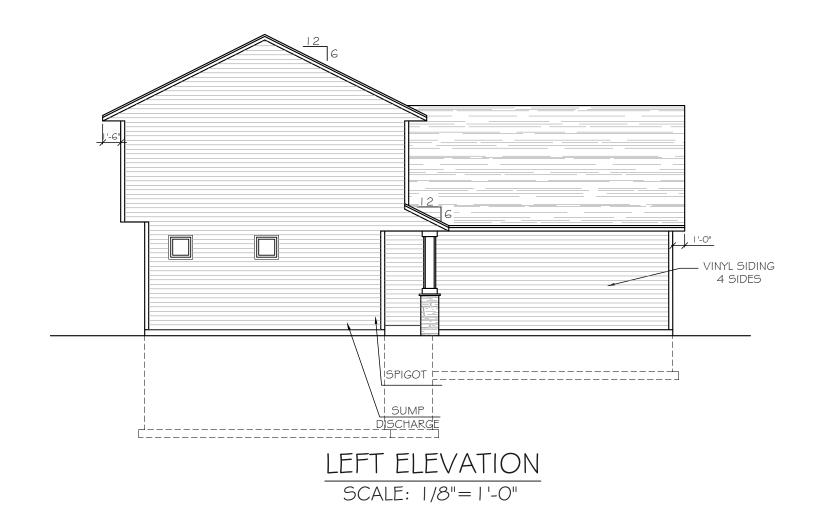
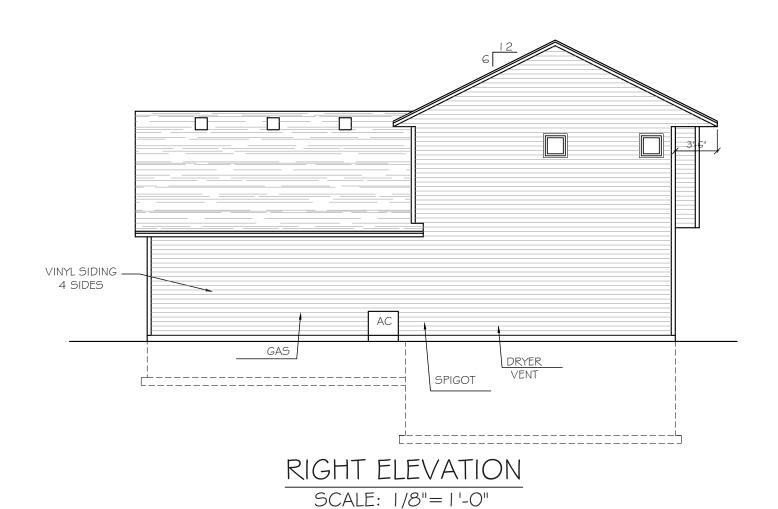


REAR ELEVATION

SCALE: 1/8"=1'-0"







FRONT ELEVATION

SCALE: 1/8"=1'-0"

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CLIENT: Project:

LOCATION:

LOT _ BLK_

DEVELOPMENT

Street
CITY
MN ZIP
JOB #:

REVISION 1 12.5.23
REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6
REVISION 7
REVISION 8
REVISION 9
REVISION 10
REVISION 1 1
FINAL 12.5.23

All changes after above date will be done according to F.F.H.
Change Order Policy

Homeowner Signature

Agent:

Plan: SPRUCE

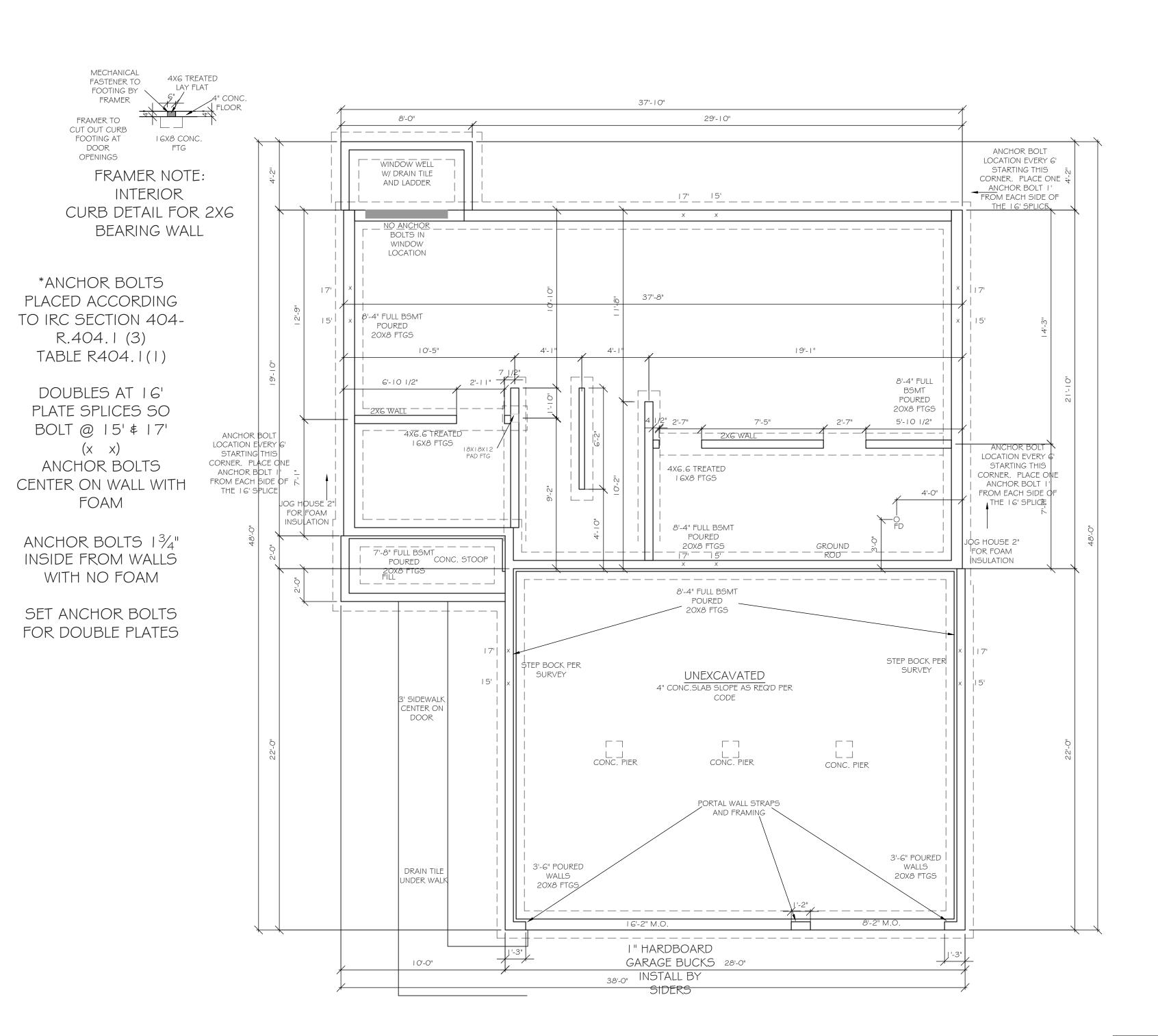
Total Foundation: 1483 House Foundation:816

Finished: 1700 Unfinished: 816

Fin Sq Ft: 1700

ELEVATIONS

Scale: 1/8" = 1'-0"



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REVISION I 12.5.23
REVISION 2
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REVISION 6
REVISION 7
REVISION 8
REVISION 9
REVISION 10
REVISION 1 1
FINAL 12.5.23

All changes after above date will be done according to F.F.H.
Change Order Policy

Homeowner Signature

Agent:

Plan: SPRUCE

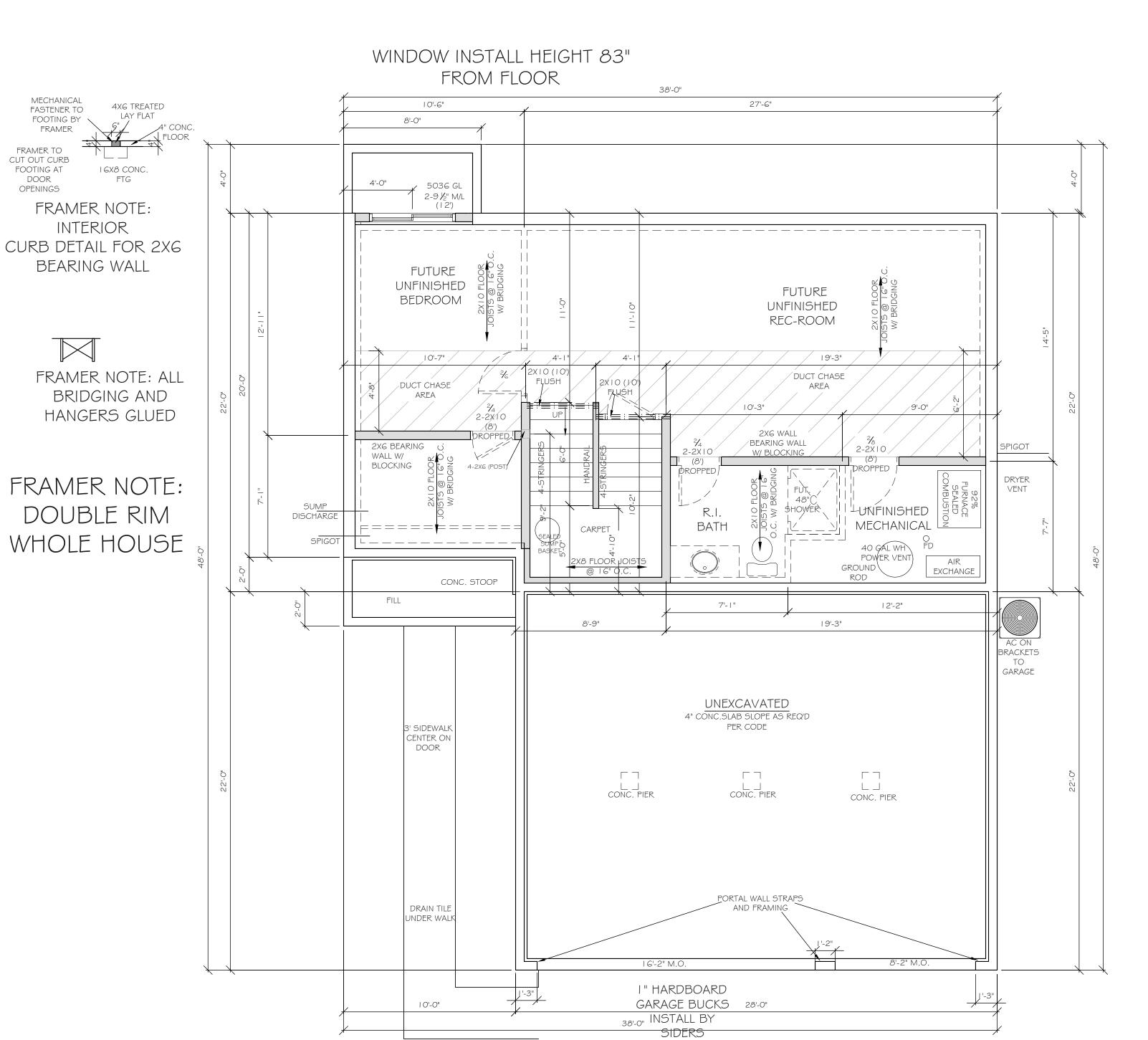
Total Foundation: 1483

House Foundation:816

Finished: 1700 Unfinished: 816

Scale: 1/4" = 1'-0"

Fin Sq Ft:



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Intellectual property

CLIENT: Project:

LOCATION:

LOT _ BLK_
DEVELOPMENT

Street CITY

JOB #:

REVISION I 12.5.23
REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6
REVISION 7
REVISION 8
REVISION 9
REVISION 10
REVISION I 1
FINAL 12.5.23

ZIP

All changes after above date will be done according to F.F.H.
Change Order Policy

Homeowner Sıgnature

Agent:

Plan: SPRUCE

Total Foundation: I 483

House Foundation:816

Finished: 1700 Unfinished: 816

Scale: 1/4" = 1'-0"

Fın Sq Ft:

FROM FLOOR 38'-0" 12'-0" 11'-6" 7'-3" 6'-0" 5'-0" 2'-10 1/2" 5'-3" 8'-0" 5'-3" 6/0 SGD 4030 GL 2-9½" LVL (8') 2' CANT ABOVE 3-9½" LVL (8') 2-9½" LVL (10') 2020 TRANSOM 7' UPPERS I-2XIO (8') KITCHEN DINETTE LAMT GREAT ROOM 60" ISLAND 10'-8" CARPET FLUSH SNACK BAR 2X10 (10') FLUSH 2X10 (10') /FLUSH 7'-10" | WALL 1-2X10 (8') W/WOOD CAF FRAME @ 42" HEIGHT FLOOR BREAK DN 2X6 WALL BEARING WALL TLOOR BREAK 42" HEIGHT

= 1 = 1 = 1 = 1 = 1 = 4.2X4

DROPPED (8')
7' HEIGHT SRK

OPN

(POST) 2X10 (10') STACK W/ BLOCKING DRYER **FOYER** SINGLE CARPET BATH #1 MUD VINYL ROOM 2X8 FLOOR JOSTS CANT ABOVE 5'-8" | ½" SHRK TO RIDGE | 22X30 | CONC. STOOP 2-9½" LVL (12') FLUSH ;=;=;=;=;=;= % 20 MIN FIRE RATED STEEL ROCK UP FIREWALL 2-2X10 (8') 2'-0" 5'-8" 8'-8" BRACKETS ROCK UP FIRE TO GARAGE 18X18 STONE BASE 42" ABOVE STOOF W/ 12X12 CEDAR POST GARAGE 3' SIDEWALK CENTER ON DOOR 4" CONC.SLAB SLOPE AS REQ'D PER CODE 8X7 OVERHEAD DOOR 16X7 OVERHEAD DOOR PORTAL WALL STRAPS AND FRAMING DRAIN TILE UNDER WALK 2-11-7/8" M/L 2-11-7/8" M/L 81 I" HARDBOARD CEILINGS GARAGE BUCKS 10'-0" INSTALL BY 38'-0" SIDERS

WINDOW INSTALL HEIGHT 83"

FRAMER NOTE:

DOUBLE RIM

WHOLE HOUSE

FRAMER NOTE: ALL BRIDGING AND HANGERS GLUED

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CLIENT: Project:

LOCATION: LOT _ BLK_ DEVELOPMENT

Street CITY

MN JOB #:

12.5.23 REVISION I REVISION 2 REVISION 3 REVISION 4 REVISION 5 REVISION 6 REVISION 7 REVISION 8 REVISION 9

ZIP

12.5.23 All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

REVISION 10

REVISION I I

FINAL

Agent:

Plan: SPRUCE

Total Foundation: I 483

House Foundation:816

Finished: 1700 Unfinished: 816

Scale: 1/4" = 1'-0"

Fin Sq Ft: 816

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CLIENT: Project:

LOCATION:

LOT _ BLK_

DEVELOPMENT

Street CITY

MN JOB #:

REVISION I 12.5.23
REVISION 2
REVISION 3
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REVISION 7
REVISION 8
REVISION 9
REVISION 10

ZIP

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Change Order Policy

12.5.23

Homeowner Signature

REVISION I I

FINAL

Agent:

Plan: SPRUCE

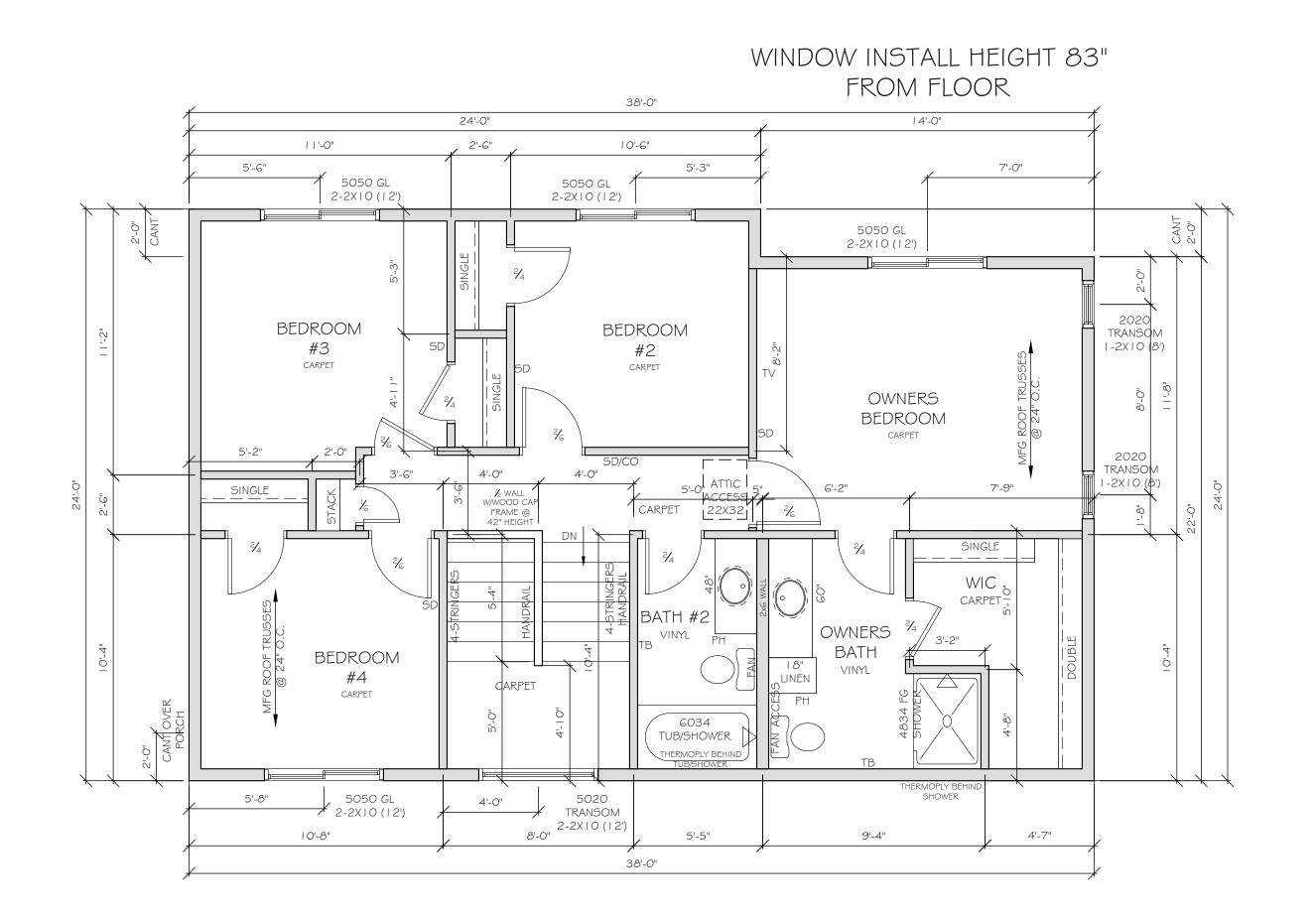
Total Foundation: I 483

House Foundation:816

Finished: 1700 Unfinished: 816

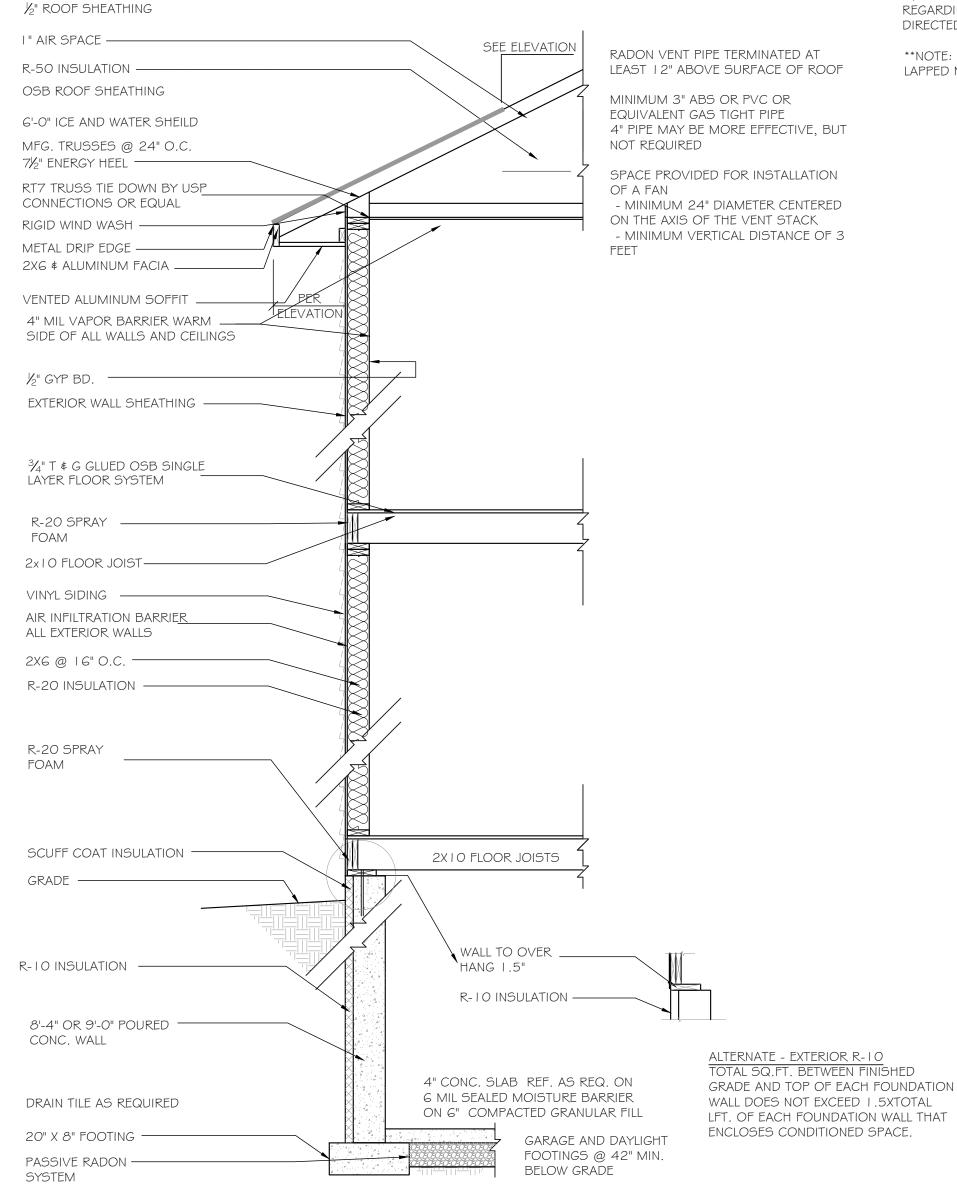
Scale: 1/4" = 1'-0"

Fın Sq Ft: 884



**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT 1/2 IN ROOF NEAR RIDGE FLASH ABOVE ALL EXTERIOR OPENINGS SHINGLES PER ELEVATION/SPECS.



ALL STRUCTURAL LUMBER

2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER

ALL 2X4 AND 2X6 STUDS WILL BE WESTERN

WHITES NO. 2 OR BETTER

WINDOWS ARE MAXIMUM OF .30 U-VALUE WITH MAXIMUM SHGC .29 WINDOW FALL PROTECTION PER R3 | 2.2. | AND R3 | 2.2.2 PATIO DOORS .30U AND .26 SHGC ALL STEEL DOORS .19U

**NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE DIRECTED TO BRET JUENKE #651-463-9333

**NOTE: APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB

FIELDSTONE FAMILY HOMES INC.

75% OF THE BULBS IN PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS REQUIREMENT APPLIES TO INDOOR AND OUTDOOR FIXTURES, INCLUDING ACCESSORY STRUCTURES AND GARAGES. HIGH EFFICACY BULBS ARE: GO LUMENS/W FOR LAMPS OVER 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

R 404.1 LIGHTING EQUIPMENT
A MINIMUM OF 75 PERCENT OF THE LAMPS IN
PERMANENTLY INSTALLED LIGHTING FIXTURES
SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM
OF 75 PERCENT OF THE PERMANENTLY INSTALLED
LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH
EFFICACY LAMPS.

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT 1/2 IN ROOF NEAR RIDGE FLASH ABOVE ALL EXTERIOR OPENINGS SHINGLES PER ELEVATION/SPECS.

1/2" ROOF SHEATHING

I" AIR SPACE — SEE ELEVATION OSB ROOF SHEATHING 6'-0" ICE AND WATER SHEILD -MFG. TRUSSES @ 24" O.C. HEEL AS NEEDED -RT7 TRUSS TIE DOWN BY USP CONNECTIONS OR EQUAL RIGID WIND WASH -METAL DRIP EDGE -2X6 & ALUMINUM FACIA PER VENTED ALUMINUM SOFFIT 2X6 @ 12" O.C. -EXTERIOR WALL SHEATHING VINYL SIDING -AIR INFILTRATION BARRIER ALL EXT. WALLS TYPICAL ANCHORING . 1/2" X 12" ANCHOR BOLT OR STRAP 6'-0" O.C. @ WALL RUNS 12" O.C. @ WALL ENDS 2X6 TRD BOTTOM PLATE GRADE 6" BELOW SHEATHING 3'-6" POURED _ FOUNDATION WALL

EXTERIOR
GARAGE WALL

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CLIENT: Project:

LOCATION:

LOT _ BLK_

DEVELOPMENT

Street CITY MN

JOB #:

ZIP

REVISION I I 2.5.23
REVISION 2
REVISION 3
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REVISION 9
REVISION 10

All changes after above date will be done according to F.F.H. Change Order Policy

2.5.23

Homeowner Signature

REVISION I I

FINAL

Agent:

Plan: SPRUCE

Total Foundation: I 483

House Foundation:816 Finished: 1700

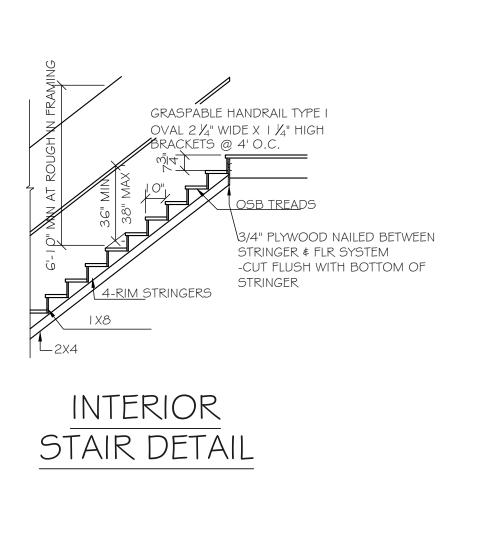
Unfinished: 816

Scale: 1/4" = 1'-0"

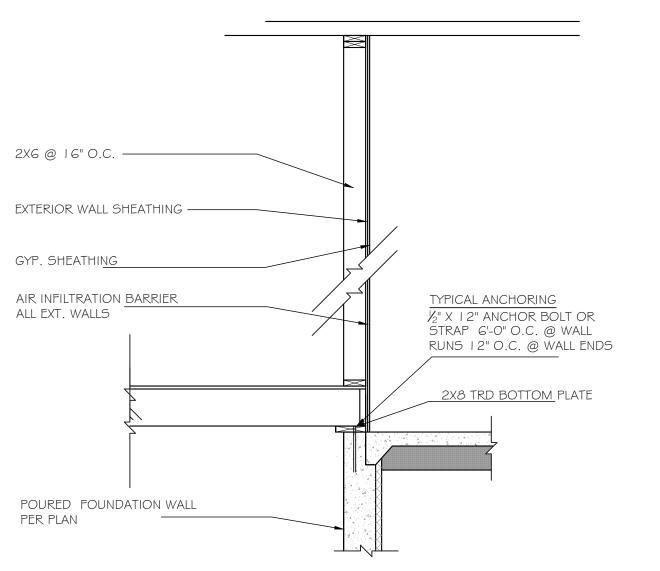
Fin Sq Ft:

FULL BASEMENT

DETAILS



ADDITIONAL POLYETHYLENE (AF I 03.3)



MINIMUM 3" PVC GAS TIGHT PIPE. GARAGE RADON VENT PIPE
TERMINATED AT LEAST
I 2" ABOVE SURFACE OF
ROOF SPACE PROVIDED FOR FUTURE
INSTALLATION OF A FAN
-MIN 24" DIAMETER CENTERED ON
THE AXIS OF THE VENT STACK
- MIN VERTICAL DISTANCE OF 3 COMMON WALL INSTALL LIVE OUTLET IN ATTIC NEAR WHERE FUTURE FAN MAY BE INSTALLED INSTALL LABEL READING
*RADON REDUCTION
SYSTEM* ON THE VENT PIPE
AT EACH FLOOR AND IN
ACCESSIBLE ATTICS.
(AF 1 0 3 . 4 . 5) INSTALL PIPE A STRAIGHT AS POSSIBLE TO
HELP
CONDUCTIVE
FLOW ELBOWS AREA ALLOWED BUT SHOULD E PLATE HEIGHT FROM TOP OF POSSIBLE FOUNDATION 3'-3" CRACKS, OR
OTHER OPENINGS
WITH
POLYMETHANE CAULK OR ELASTOMERIC SEALANT ACCORDING TO MANUFACTURER'S RECOMMENDATIONS IN AF103.4.1 THROUGH AF103.4.5 MIN. 6-MIL, OR 3-MIL CROSS LAMINATED POLYETHYLENE SHALL BE LAPPED 12" AND PLACED BELOW THE SLAB AND ON TOP OF THE GAS SUBFLOOR GAS PERMEABLE LAYER PERMEABLE LAYER (AF I 03.3) BEFORE SLAB IS CAST -FIT POLYETHYLENE LAYER CLOSELY TO PENETRATIONS (AF I 03.3)
- SEAL/CLOVER PUNCTURES OR TEARS WITH

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Intellectual property

CLIENT: Project:

LOCATION: LOT _ BLK_ DEVELOPMENT

Street CITY MN ZIP

JOB #:

REVISION 12.5.23 REVISION 2 REVISION 3 REVISION 4 REVISION 5 REVISION 6 REVISION 7 REVISION 8 REVISION 9 REVISION 10 REVISION I I FINAL 12.5.23

All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:

Plan: SPRUCE

Total Foundation: I 483

House Foundation:816

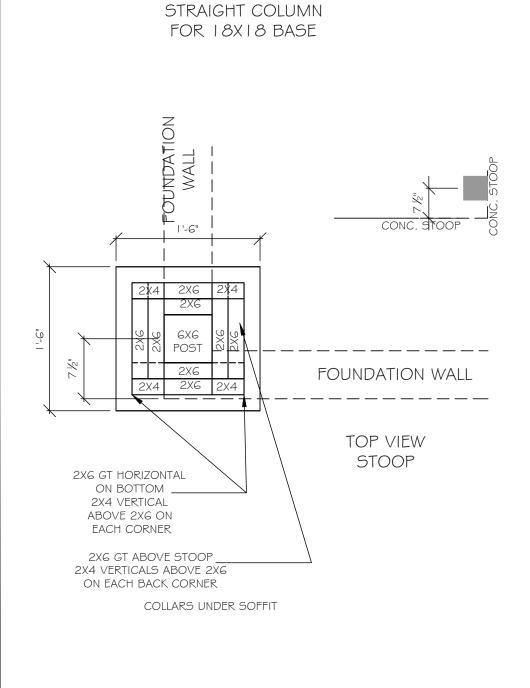
Finished: 1700 Unfinished: 816

Scale: 1/4" = 1'-0"

6

Fin Sq Ft:

SECTION



18X18 BASE: - 2X6X8' GT

I-2X6X8' WHITE

2-2X4X I O' WHITE

1-4X8X1/5" GT OSB

HARDBOARD WRAPPED

COLLAR

TOP VIEW OF

12X12 BOXED

POST

18X18 BASE FOR

STRAIGHT OR

TAPERED COLUMN

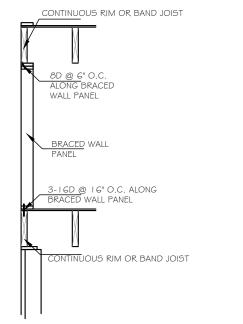
HEADER

PØS

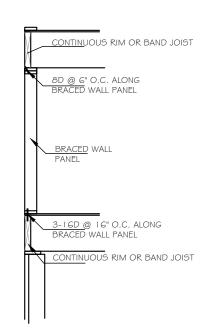
BOX

A'-O" NOT TO SCALE 3/8" MIN PLYWOOD OR OSB 6" O.C. EDGE NAILING 1 2" O.C. FIELD NAILING

BRACE WALL PANELS: CS WSP NOT TO SCALE



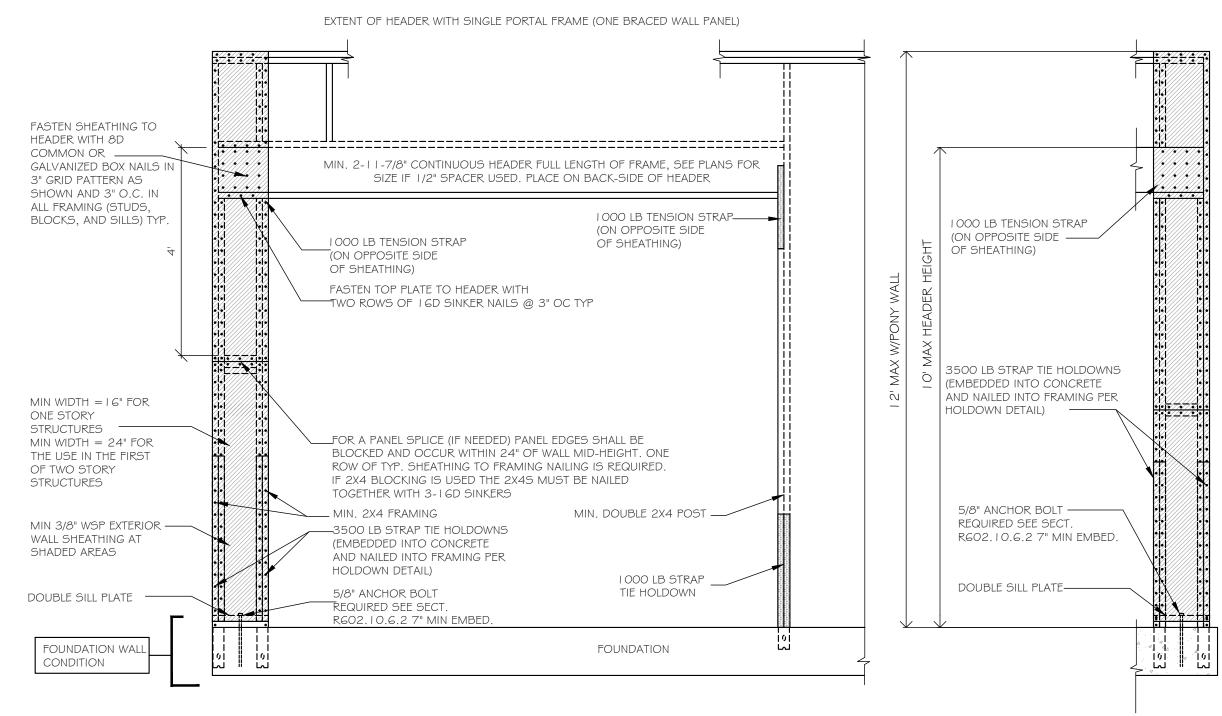
PARALLEL FRAMING



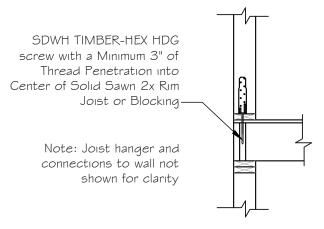
PERPENDICULAR FRAMING

-----= BRACED WALL PANEL

EXTENT OF HEADER WITH DOUBLE PORTAL FRAMES (TWO BRACED WALL PANELS)

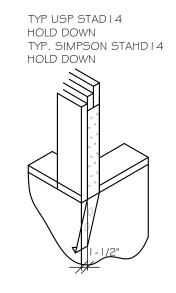


PORTAL WALL FRAMING DETAIL FOR GARAGE



DTT I Z shown with a Strong-Drive SDWH Timber-Hex HDG screw to floor framing below (wall bracing application only).

DTT I Z HOLD DOWN FOR WIND BRACING



GARAGE PIER HOLD DOWN DETAIL

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CLIENT: Project:

LOCATION:

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Street CITY MN

JOB #:

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REVISION 9
REVISION 10
REVISION I I

ZIP

All changes after above date will be done according to F.F.H.
Change Order Policy

12.5.23

Homeowner Signature

FINAL

Agent:

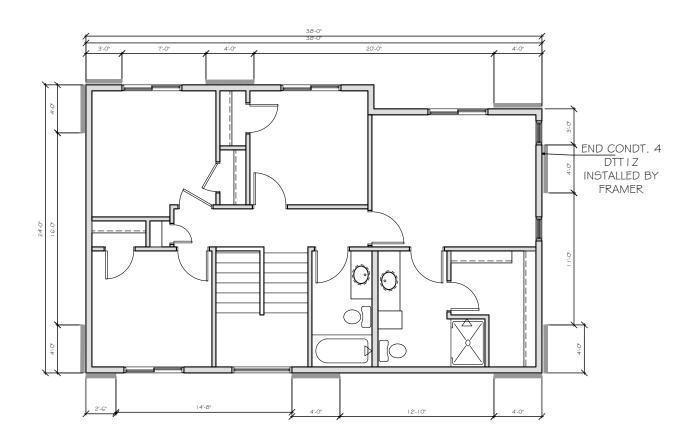
Plan: SPRUCE

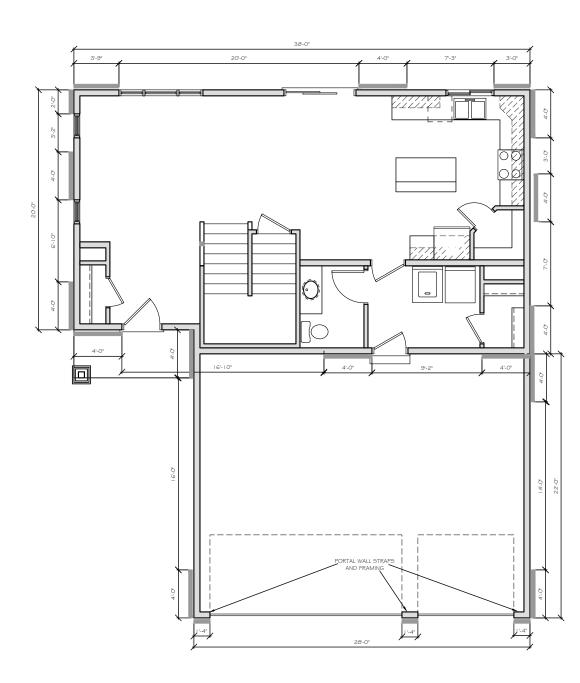
Total Foundation: | 483 House Foundation: 8 | 6

Finished: 1700 Unfinished: 816

Scale: 1/4" = 1'-0"

Fin Sq Ft:





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CLIENT:

Project:

LOCATION:

LOT_BLK_ DEVELOPMENT

Street

CITY MN

JOB #:

REVISION 12.5.23 REVISION 2 REVISION 3 REVISION 4 REVISION 5 REVISION 6 REVISION 7 REVISION 8 REVISION 9

ZIP

REVISION 10

REVISION I I FINAL 12.5.23

All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:

Plan: SPRUCE

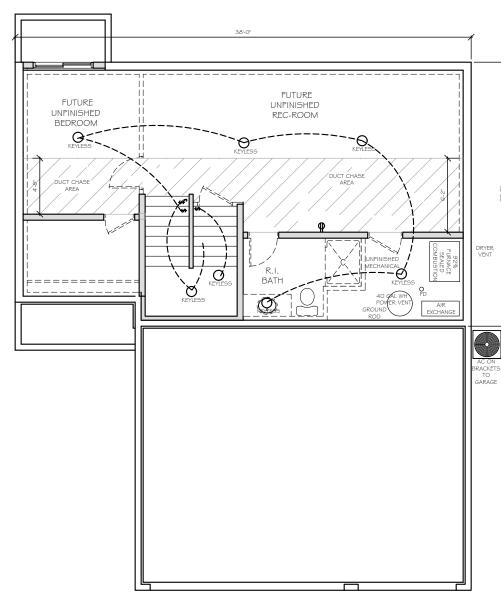
Total Foundation: I 483

House Foundation:816

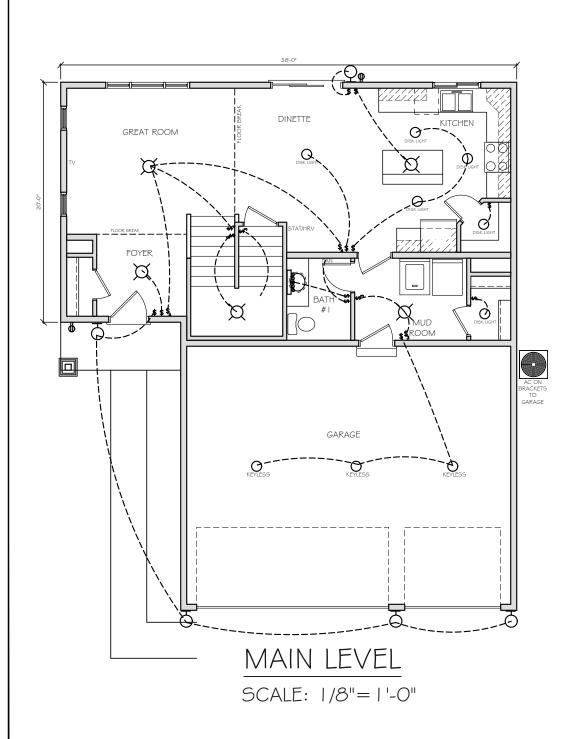
Finished: 1700

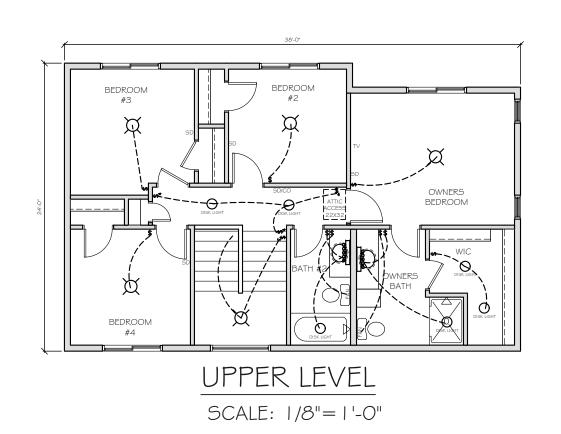
Unfinished: 816 Scale: 1/8" = 1'-0"

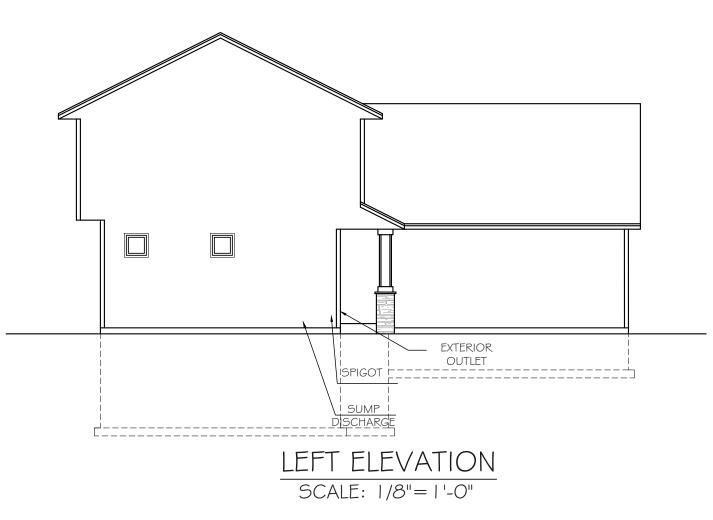
Fın Sq Ft:





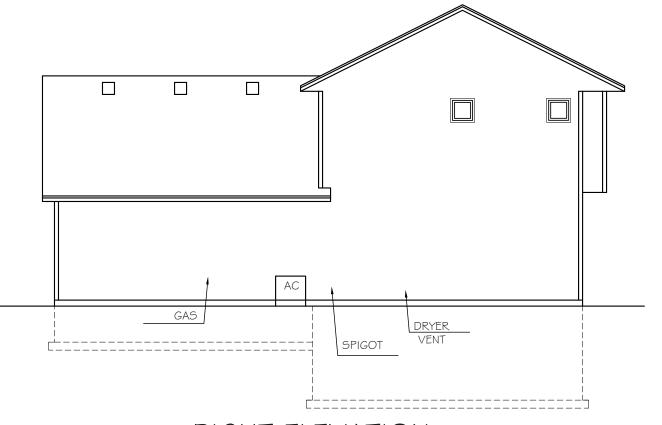




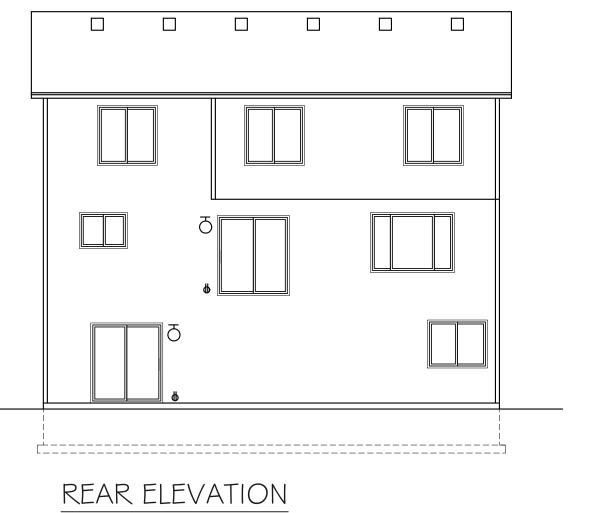




FRONT ELEVATION SCALE: 1/8"=1'-0"



RIGHT ELEVATION SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"

ELECTRICAL LAYOUT

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CLIENT: Project:

LOCATION: LOT _ BLK_ DEVELOPMENT

Street CITY MN ZIP JOB #:

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REVISION 10	
REVISION I I	
FINAL	12.5.23

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Homeowner Signature

Agent:

Plan: SPRUCE

Total Foundation: 1483

House Foundation:816

Finished: 1700

Unfinished: 816

Scale: 1/8" = 1'-0"

Fin Sq Ft:

9