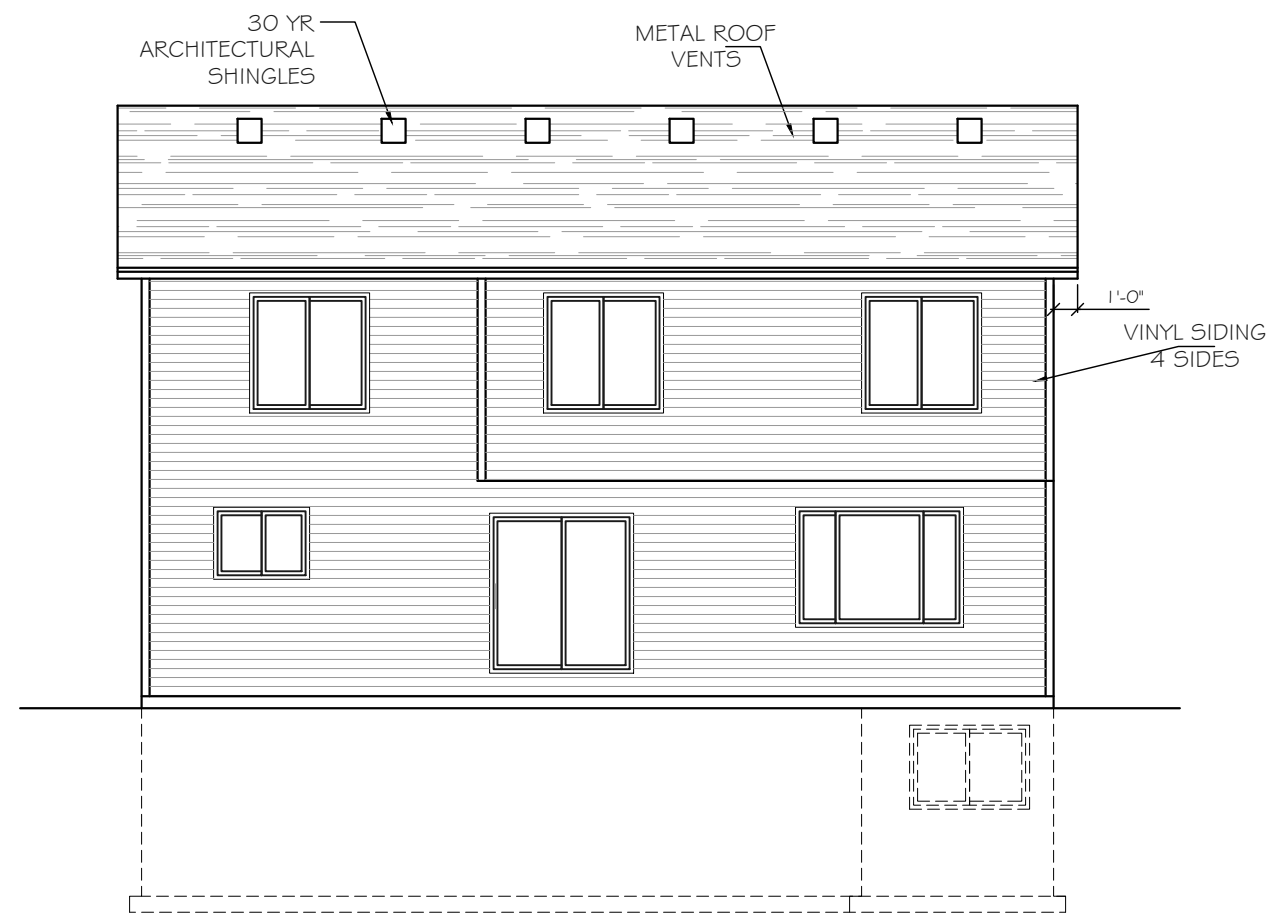
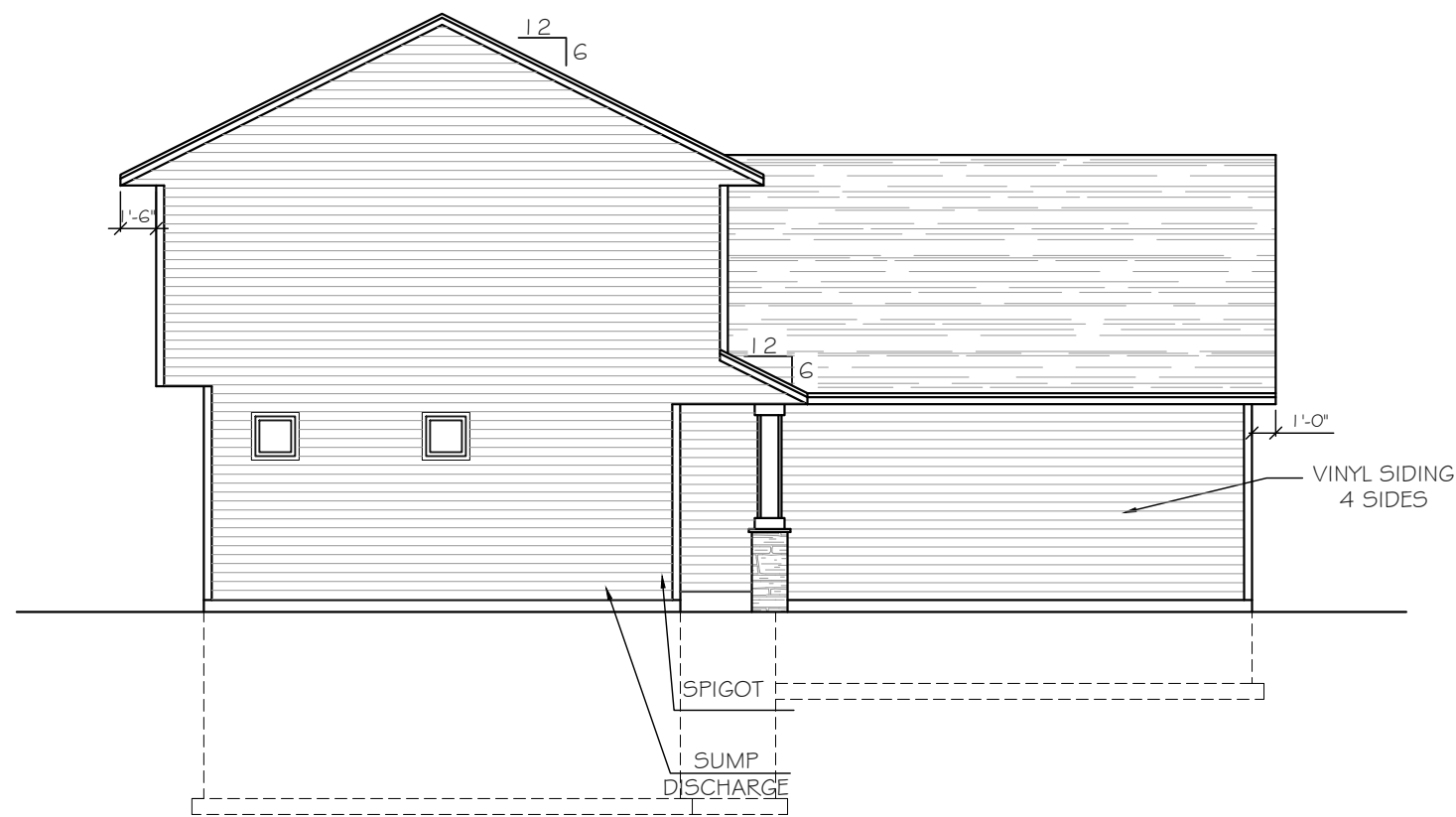


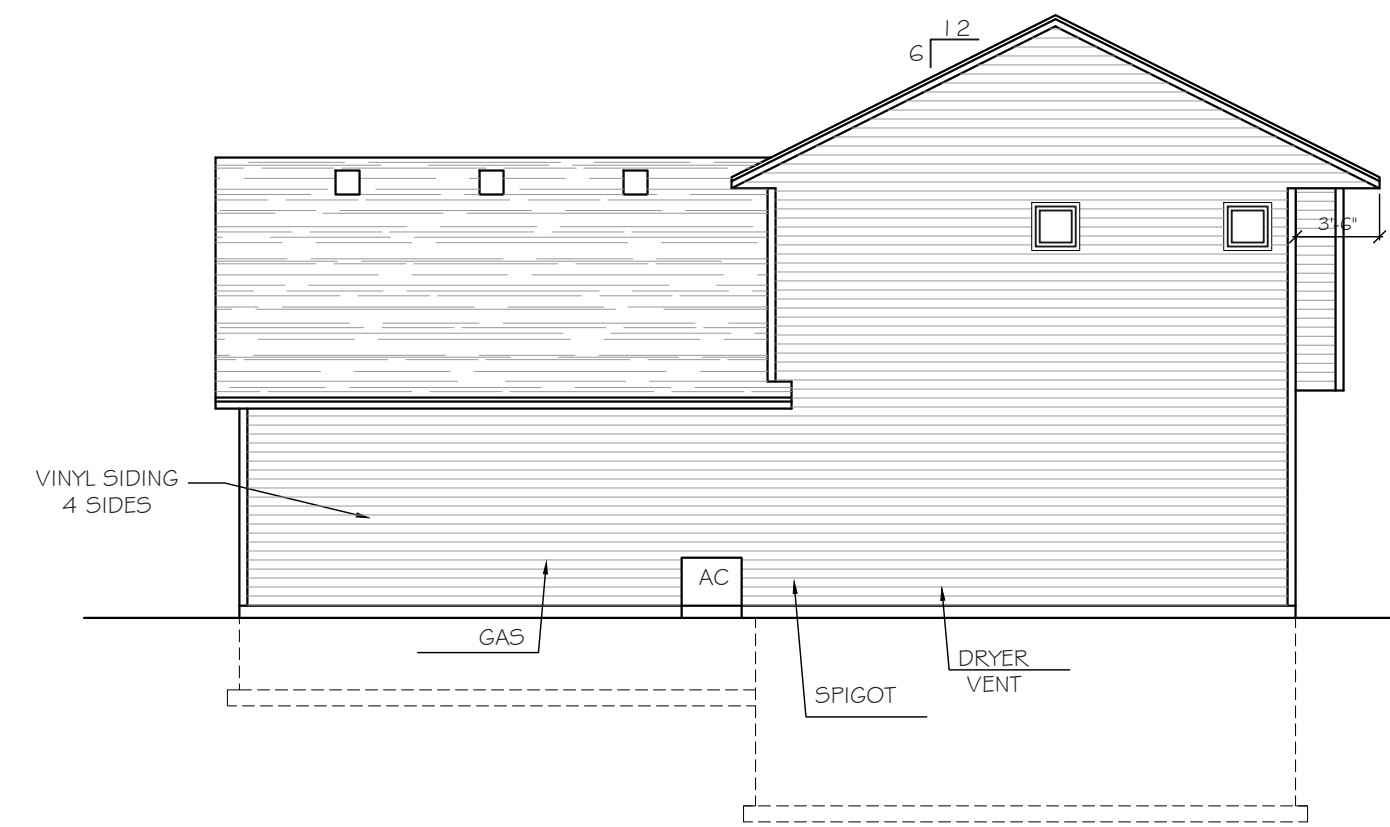
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REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

CLIENT:
 Project:

LOCATION:
 LOT _ BLK_ DEVELOPMENT

Street
 CITY
 MN ZIP
 JOB #:

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REVISION 10	
REVISION 11	
FINAL	12.5.23

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Homeowner Signature

Agent:
 Plan: SPRUCE

Total Foundation: 1483
 House Foundation: 816
 Finished: 1700
 Unfinished: 816

Scale: 1/8" = 1'-0"

Fin Sq Ft: 1700

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CLIENT:
Project:

LOCATION:
LOT _ BLK_ DEVELOPMENT

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MN ZIP
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REVISION 11	
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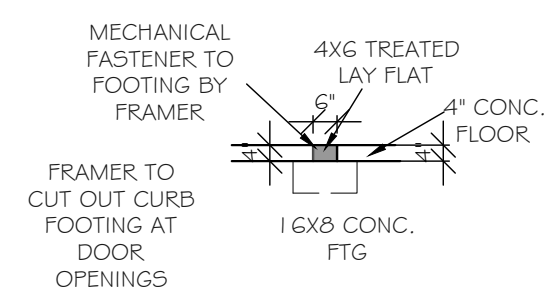
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Homeowner Signature

Agent:
Plan: SPRUCE
Total Foundation: 1483
House Foundation: 816
Finished: 1700
Unfinished: 816

Scale: 1/4" = 1'-0"

Fin Sq Ft:



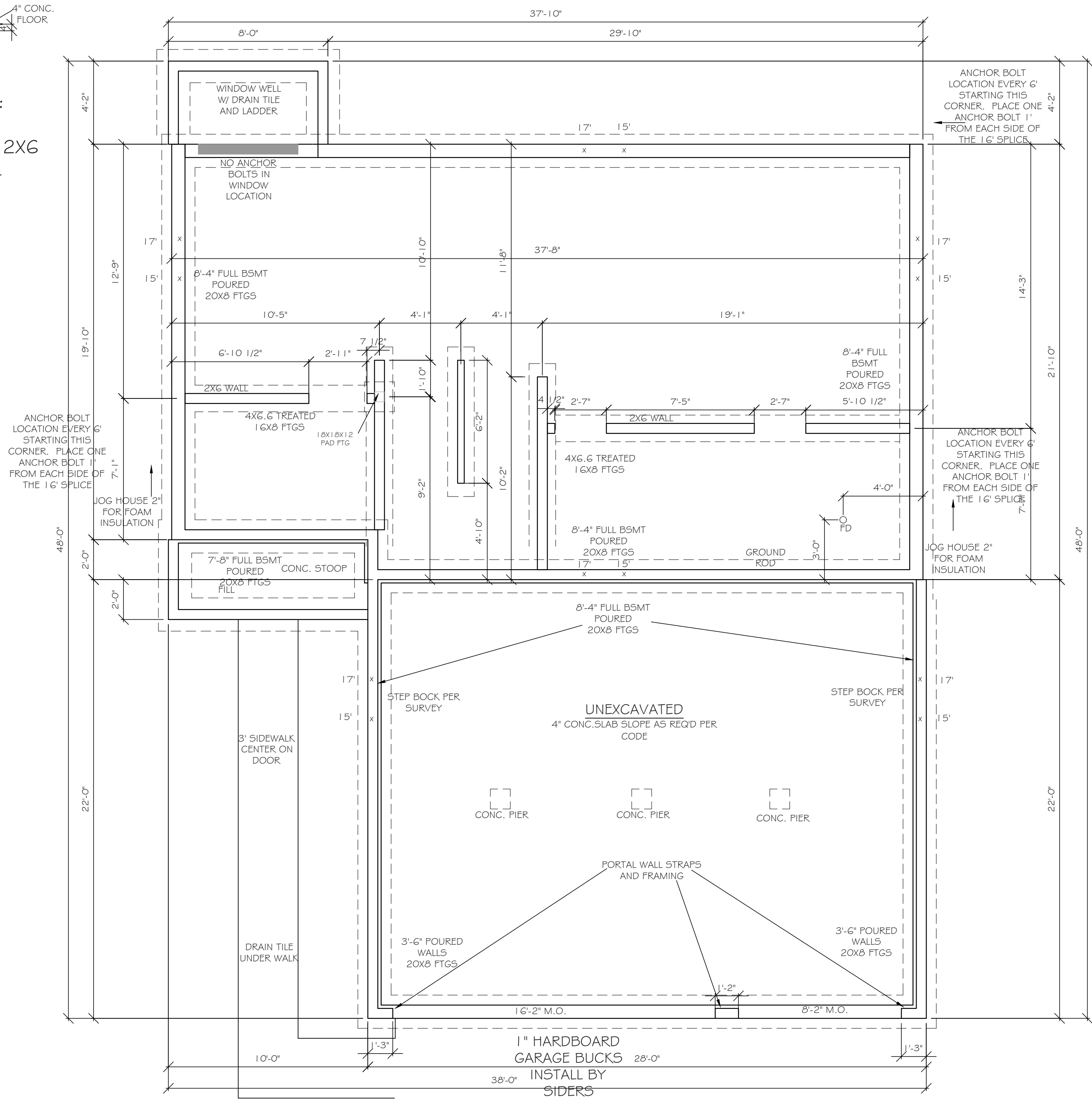
FRAMER NOTE:
INTERIOR CURB DETAIL FOR 2X6 BEARING WALL

*ANCHOR BOLTS PLACED ACCORDING TO IRC SECTION 404-R.404.1 (3) TABLE R404.1(1)

DOUBLES AT 16' PLATE SPLICES SO BOLT @ 15' & 17' (x x) ANCHOR BOLTS CENTER ON WALL WITH FOAM

ANCHOR BOLTS 1 3/4" INSIDE FROM WALLS WITH NO FOAM

SET ANCHOR BOLTS FOR DOUBLE PLATES



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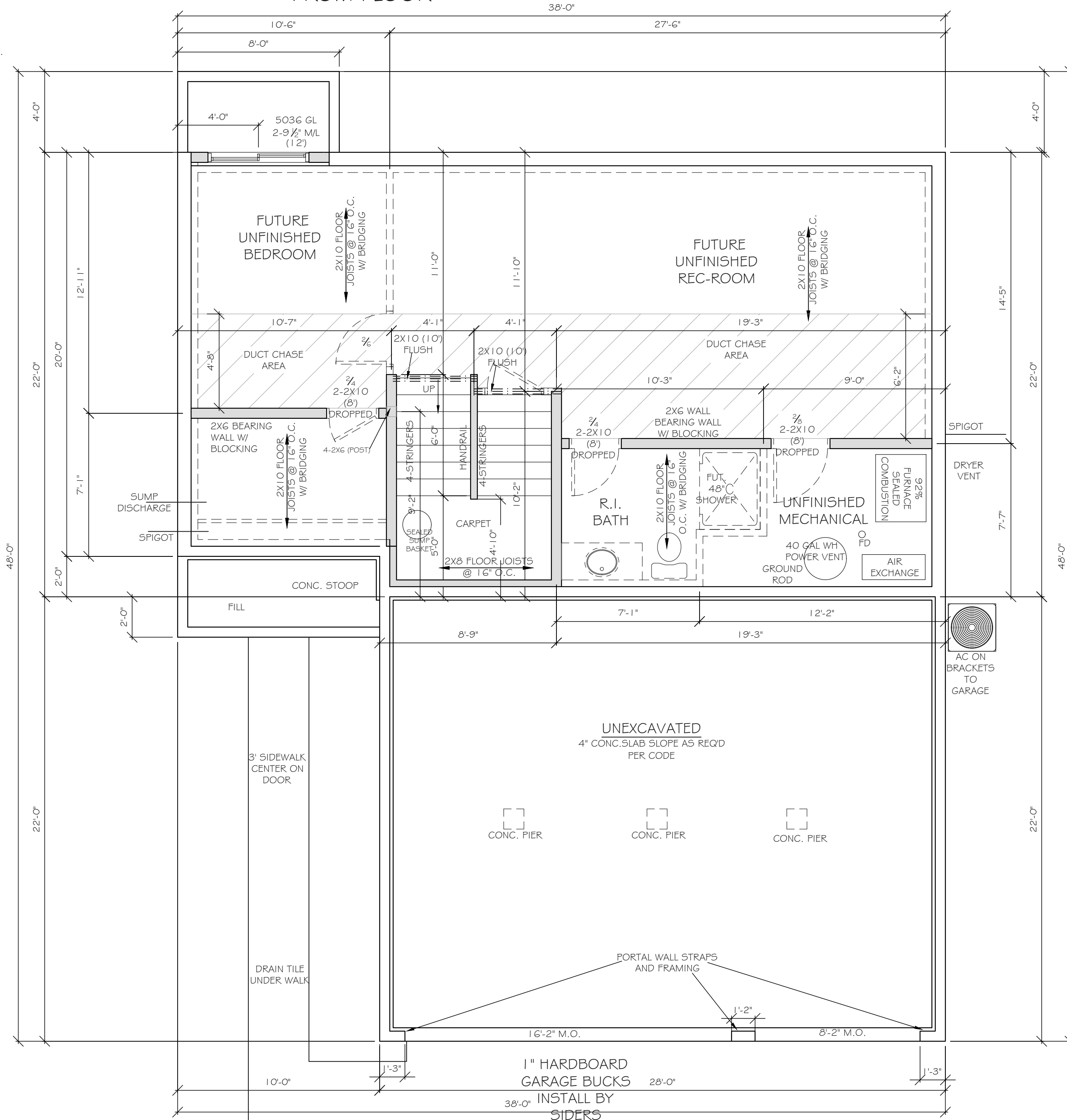
WINDOW INSTALL HEIGHT 83"
 FROM FLOOR

MECHANICAL FASTENER TO FOOTING BY FRAMER
 4X6 TREATED LAY FLAT
 1" CONC. FLOOR
 FRAMER TO CUT OUT CURB FOOTING AT DOOR OPENINGS
 1 6X8 CONC. FTG

FRAMER NOTE:
 INTERIOR CURB DETAIL FOR 2X6 BEARING WALL

FRAMER NOTE: ALL BRIDGING AND HANGERS GLUED

FRAMER NOTE: DOUBLE RIM WHOLE HOUSE



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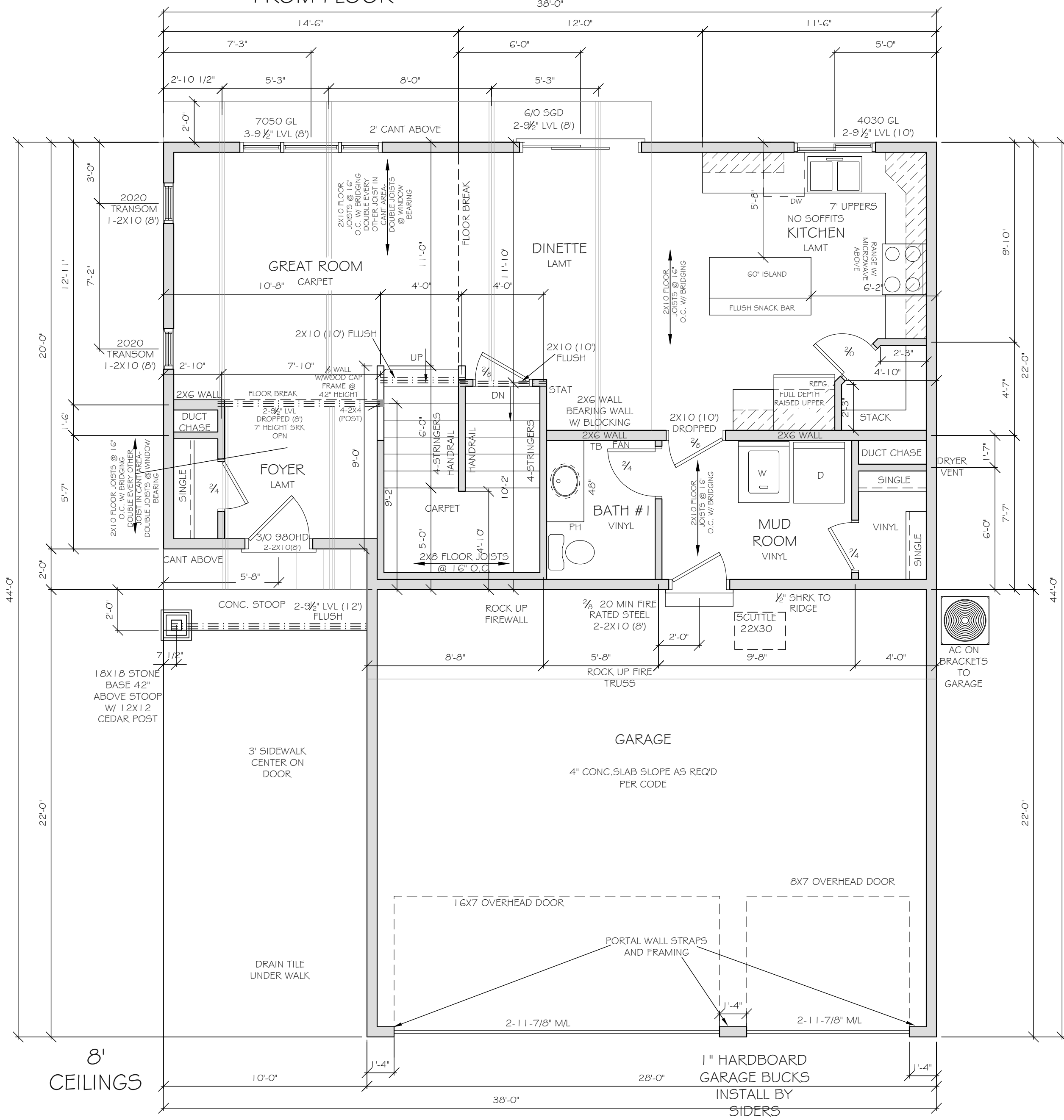
Homeowner Signature

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Total Foundation: 1483
House Foundation: 816
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Unfinished: 816

Scale: 1/4" = 1'-0"

Fin Sq Ft: 816

WINDOW INSTALL HEIGHT 83"
FROM FLOOR



FRAMER NOTE: ALL BRIDGING AND HANGERS GLUED

FRAMER NOTE: DOUBLE RIM WHOLE HOUSE

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REVISION 11

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Homeowner Signature

Agent:

Plan: SPRUCE

Total Foundation: 1483

House Foundation: 816

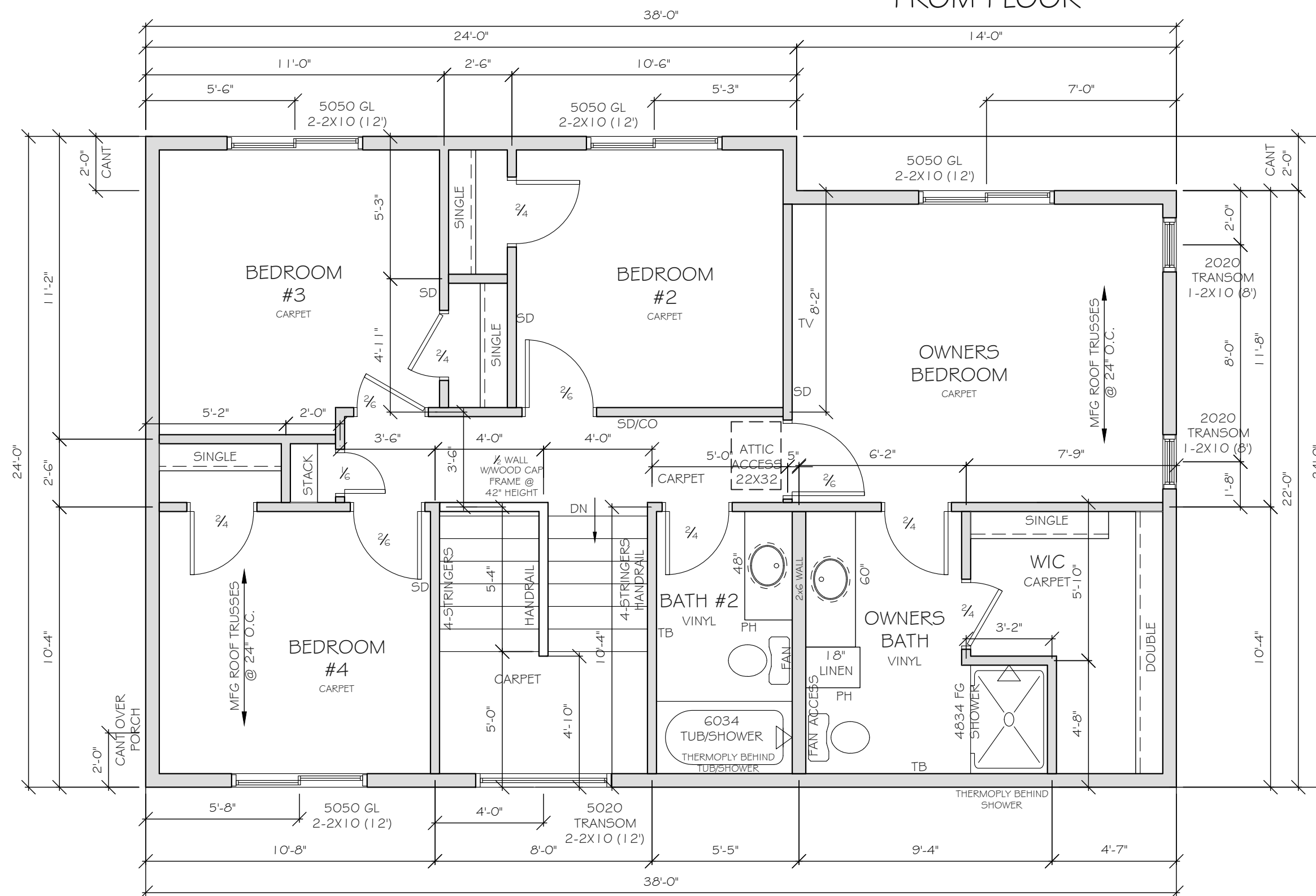
Finished: 1700

Unfinished: 816

Scale: 1/4" = 1'-0"

Fin Sq Ft: 884

WINDOW INSTALL HEIGHT 83"
FROM FLOOR



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Scale: 1/4" = 1'-0"

Fin Sq Ft:

ALL STRUCTURAL LUMBER
2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER
ALL 2X4 AND 2X6 STUDS WILL BE WESTERN WHITES NO. 2 OR BETTER

WINDOWS ARE MAXIMUM OF .30 U-VALUE WITH MAXIMUM SHGC .29 WINDOW FALL PROTECTION PER R312.2.1 AND R312.2.2 PATIO DOORS .30U AND .26 SHGC ALL STEEL DOORS .19U

**NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION W/ 6 MIL POLY SLIP SHEATHING OVER TOP. ANY QUESTIONS REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE DIRECTED TO BRET JUENKE #651-463-9333

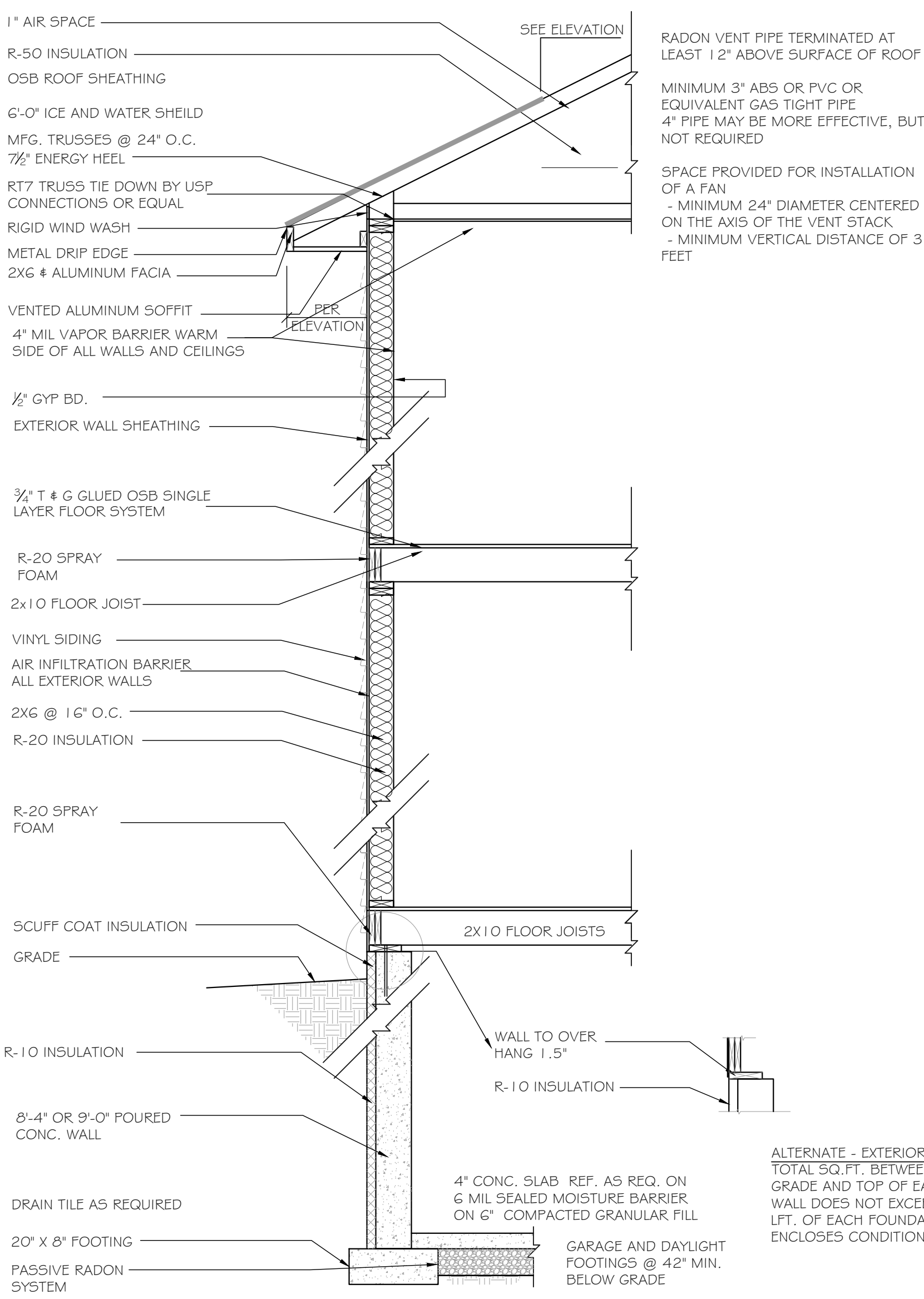
**NOTE: APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB

75% OF THE BULBS IN PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS REQUIREMENT APPLIES TO INDOOR AND OUTDOOR FIXTURES, INCLUDING ACCESSORY STRUCTURES AND GARAGES. HIGH EFFICACY BULBS ARE: 60 LUMENS/W FOR LAMPS OVER 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

R 404.1 LIGHTING EQUIPMENT
A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/800TH ROOF 1/2 IN SOFFIT 1/2 IN ROOF NEAR RIDGE FLASH ABOVE ALL EXTERIOR OPENINGS SHINGLES PER ELEVATION/SPECS. 15# FELT 1/2" ROOF SHEATHING

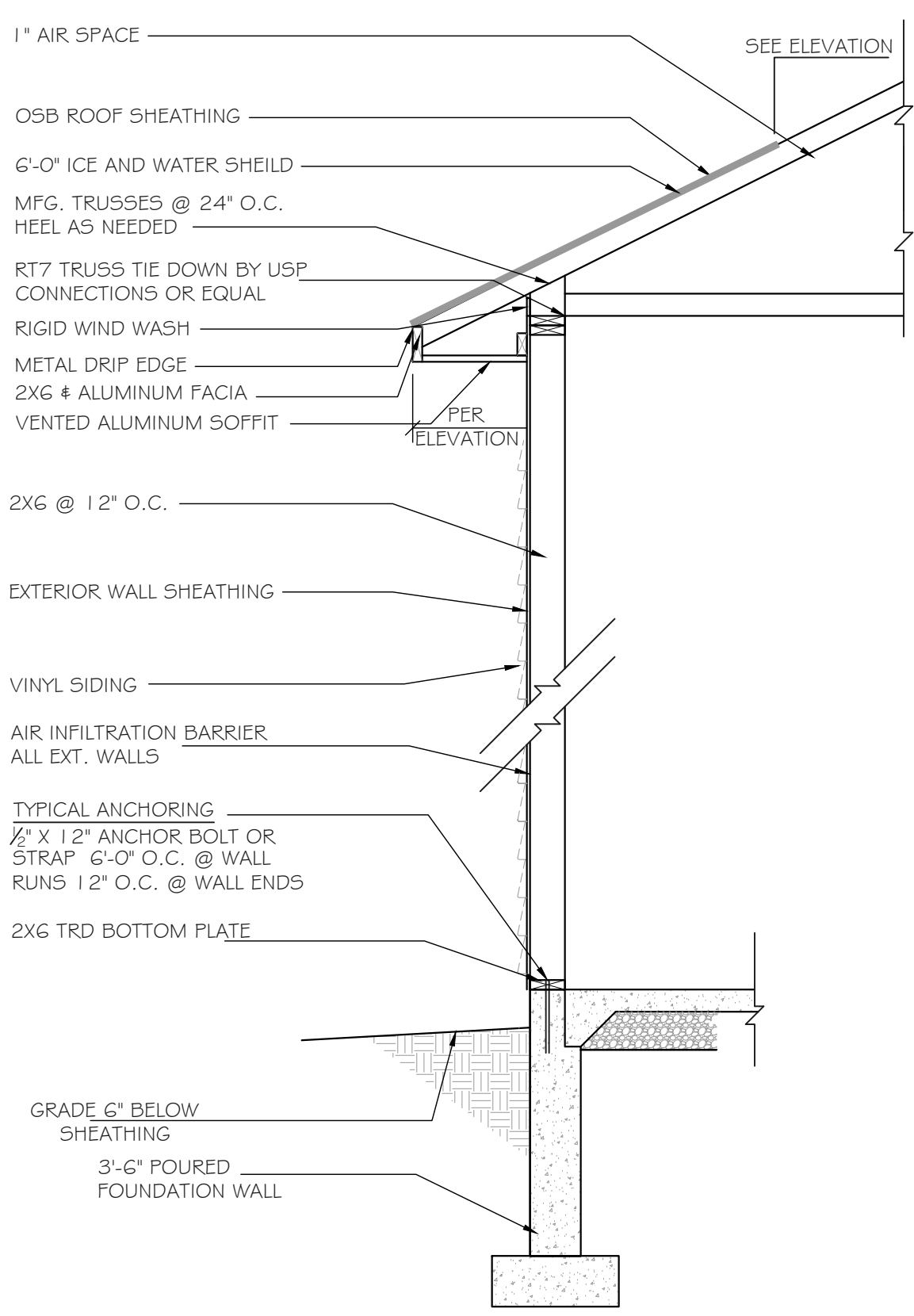


ALTERNATE - EXTERIOR R-10 TOTAL SQ.FT. BETWEEN FINISHED GRADE AND TOP OF EACH FOUNDATION WALL DOES NOT EXCEED 1.5XTOTAL LFT. OF EACH FOUNDATION WALL THAT ENCLOSES CONDITIONED SPACE.

GARAGE AND DAYLIGHT FOOTINGS @ 42" MIN. BELOW GRADE

**NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

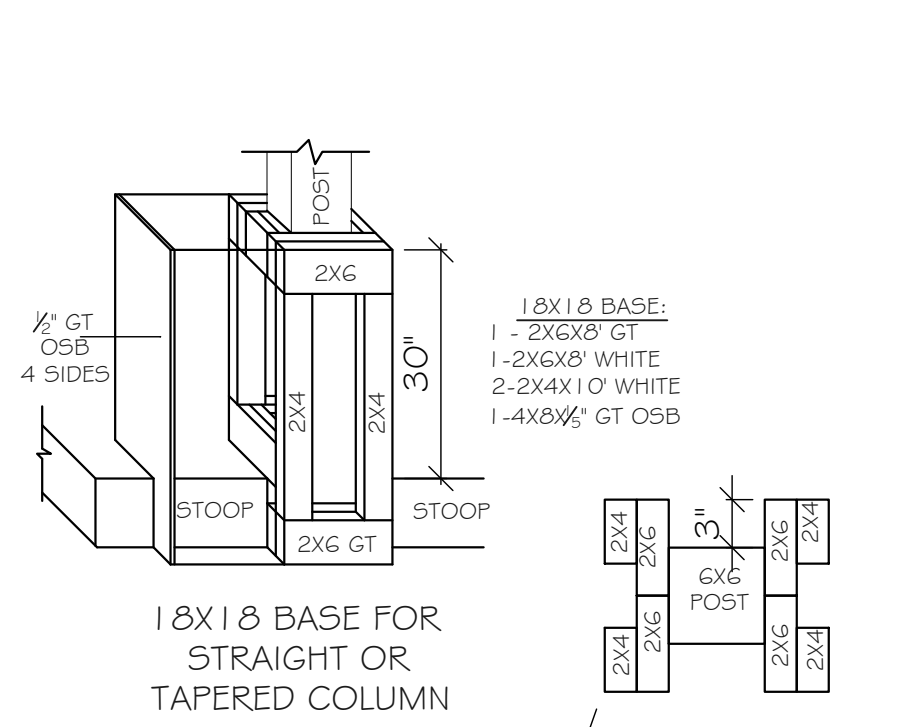
NOTE: VENT 1/800TH ROOF 1/2 IN SOFFIT 1/2 IN ROOF NEAR RIDGE FLASH ABOVE ALL EXTERIOR OPENINGS SHINGLES PER ELEVATION/SPECS. 15# FELT 1/2" ROOF SHEATHING



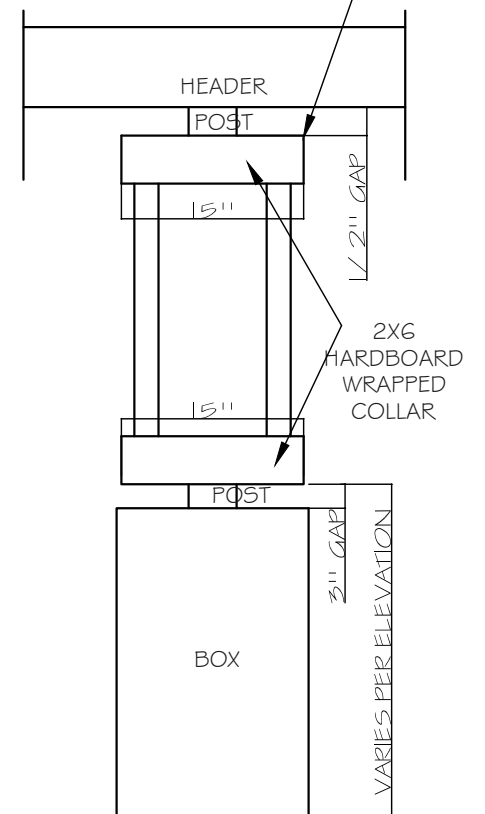
EXTERIOR GARAGE WALL

FULL BASEMENT

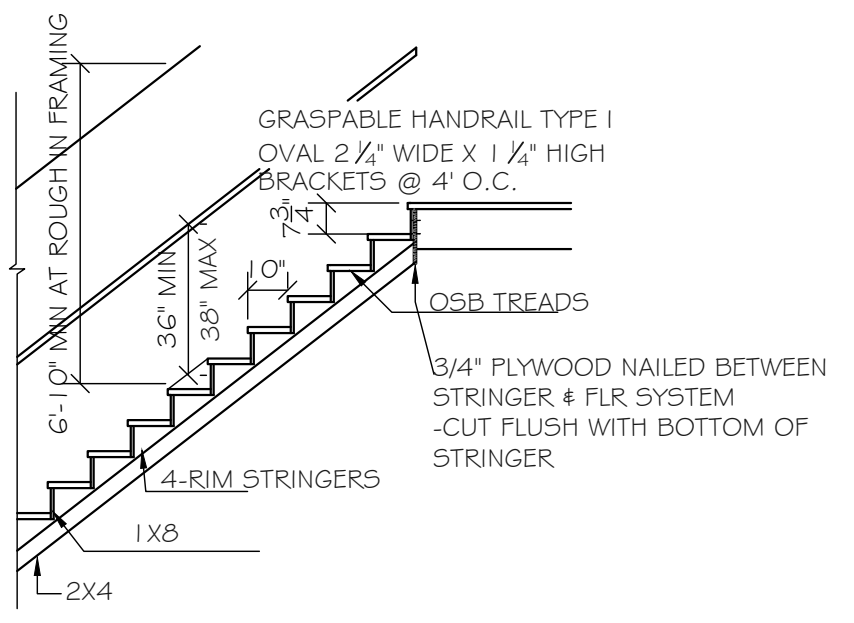
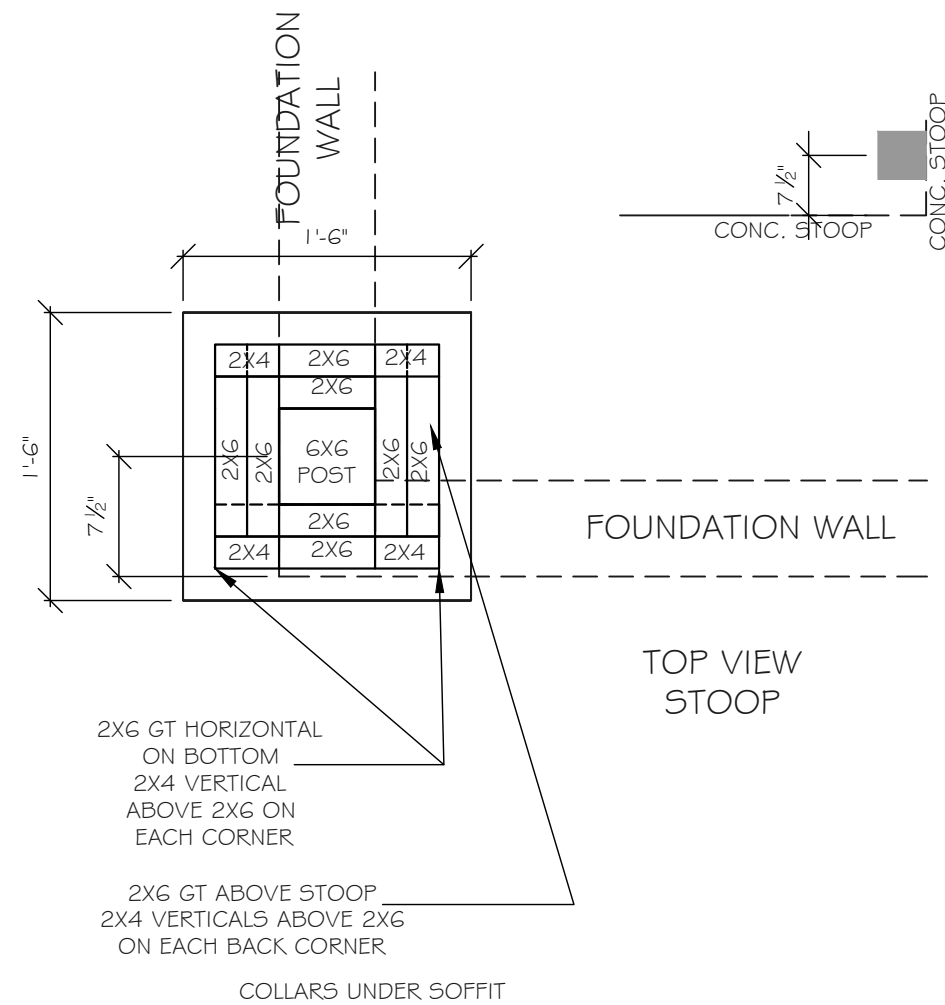
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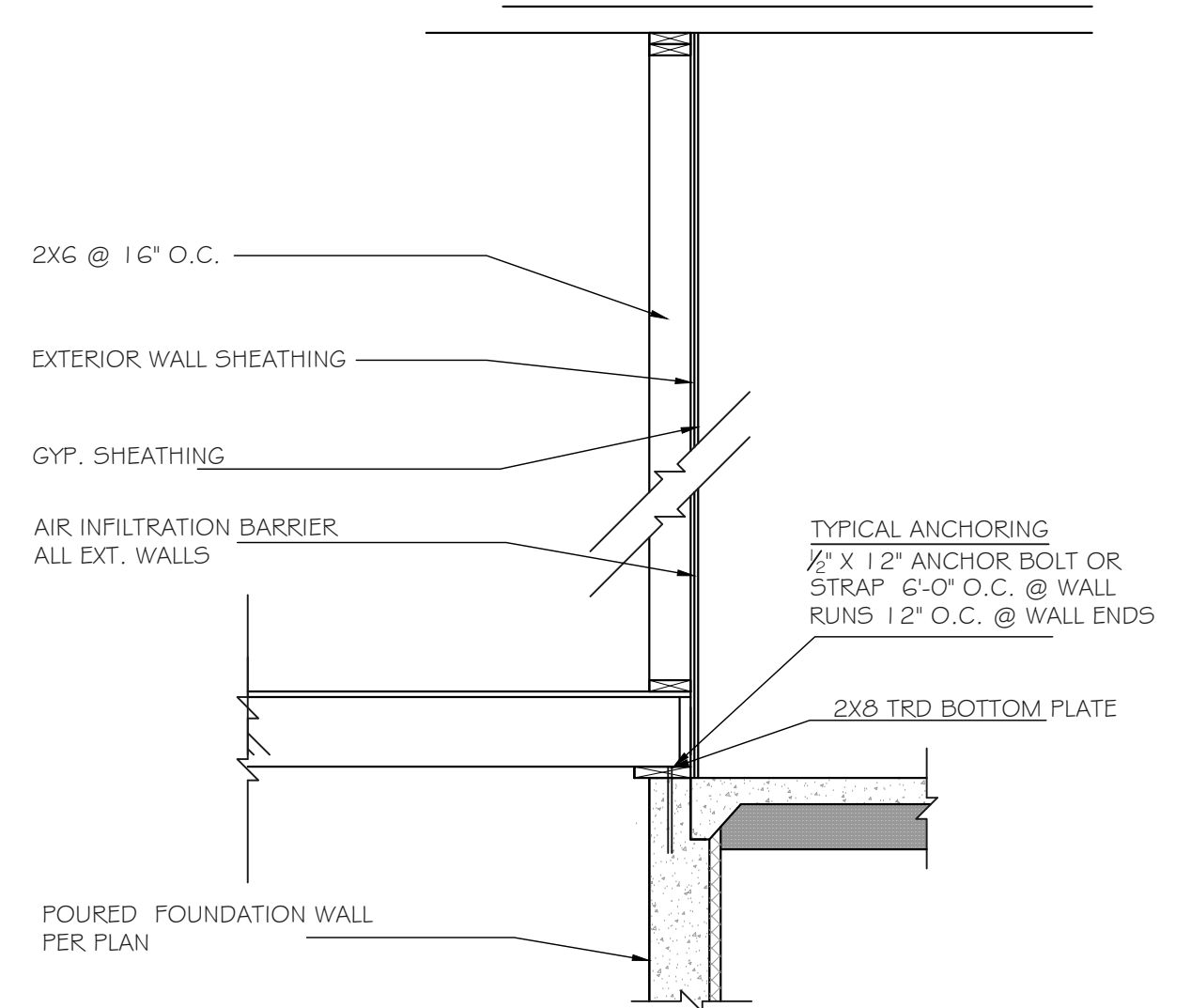
18X18 BASE FOR STRAIGHT OR TAPERED COLUMN



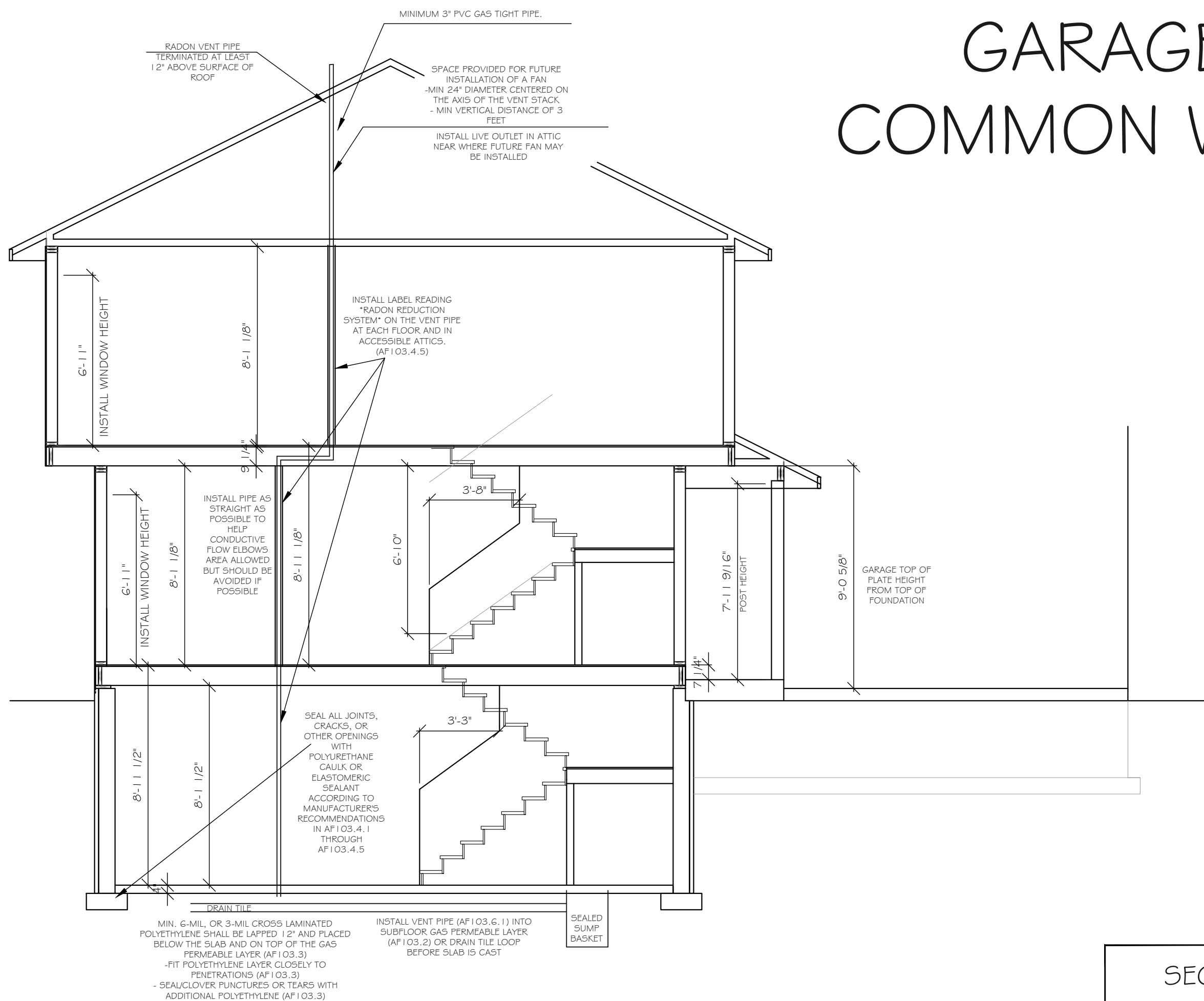
STRAIGHT COLUMN FOR 18X18 BASE



INTERIOR STAIR DETAIL



GARAGE COMMON WALL



CLIENT:
Project:

LOCATION:
 LOT _ BLK_ DEVELOPMENT
 Street
 CITY
 MN ZIP
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FINAL	12.5.23

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Homeowner Signature

Agent:
 Plan: SPRUCE
 Total Foundation: 1483
 House Foundation: 816
 Finished: 1700
 Unfinished: 816

Scale: 1/4" = 1'-0"

Fin Sq Ft:

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LOT _ BLK_ DEVELOPMENT

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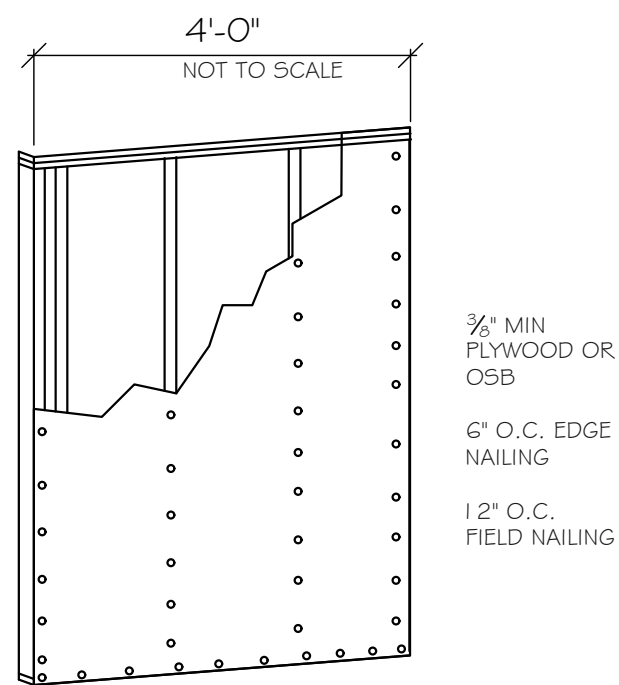
House Foundation: 816

Finished: 1700

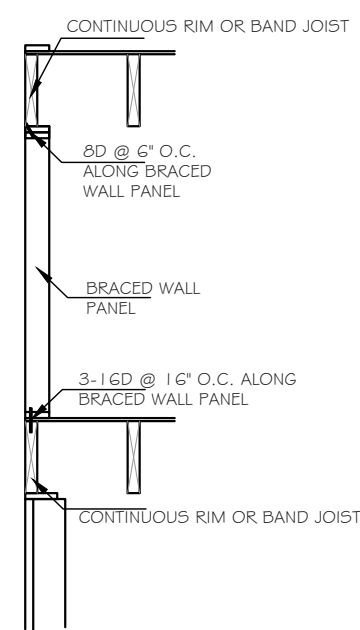
Unfinished: 816

Scale: 1/4" = 1'-0"

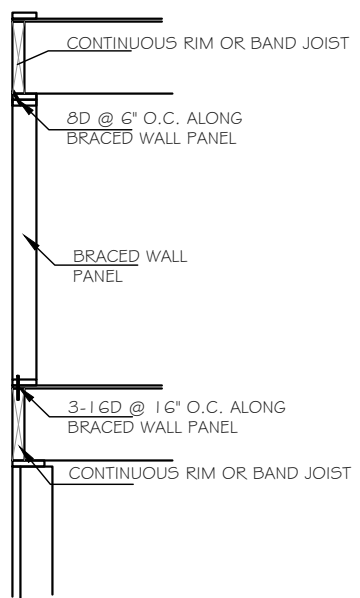
Fin Sq Ft:



BRACE WALL PANELS: CS WSP
NOT TO SCALE

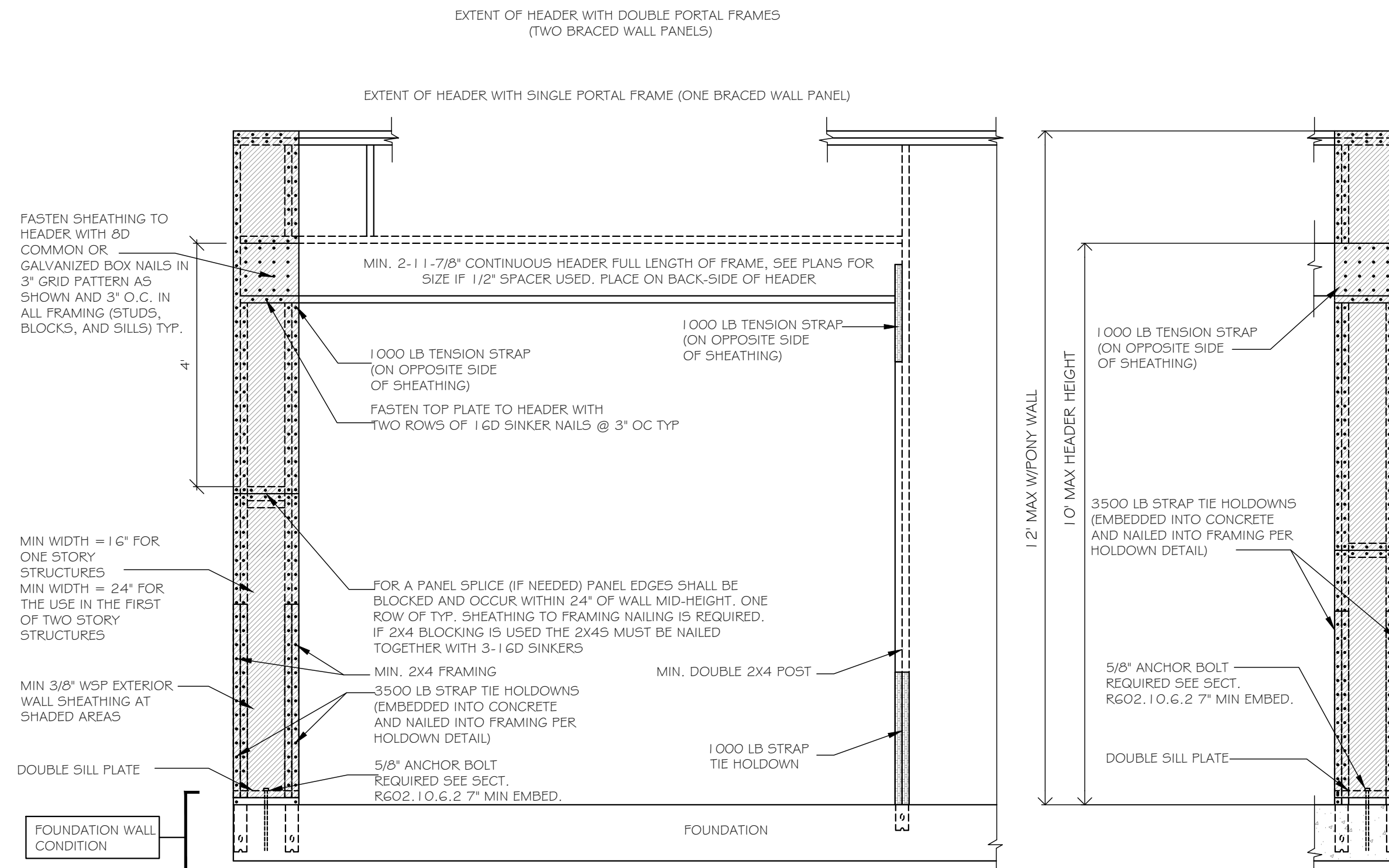


PARALLEL FRAMING

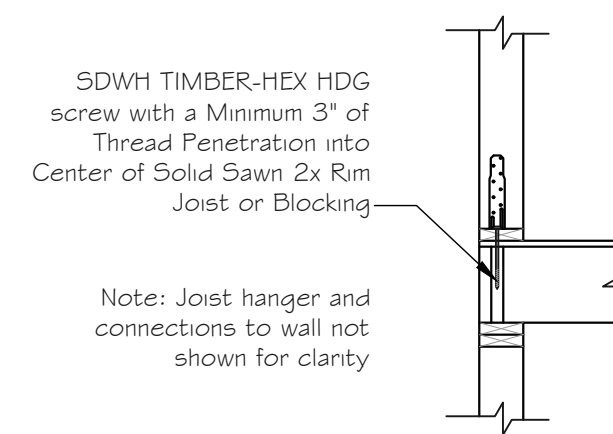


PERPENDICULAR FRAMING

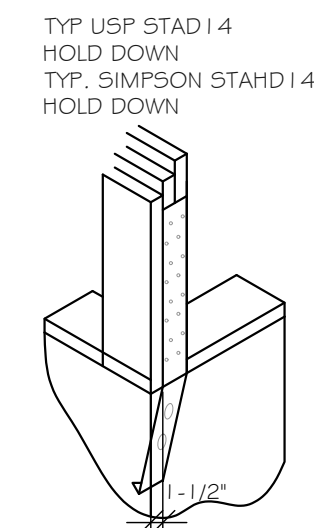
— = BRACED WALL PANEL



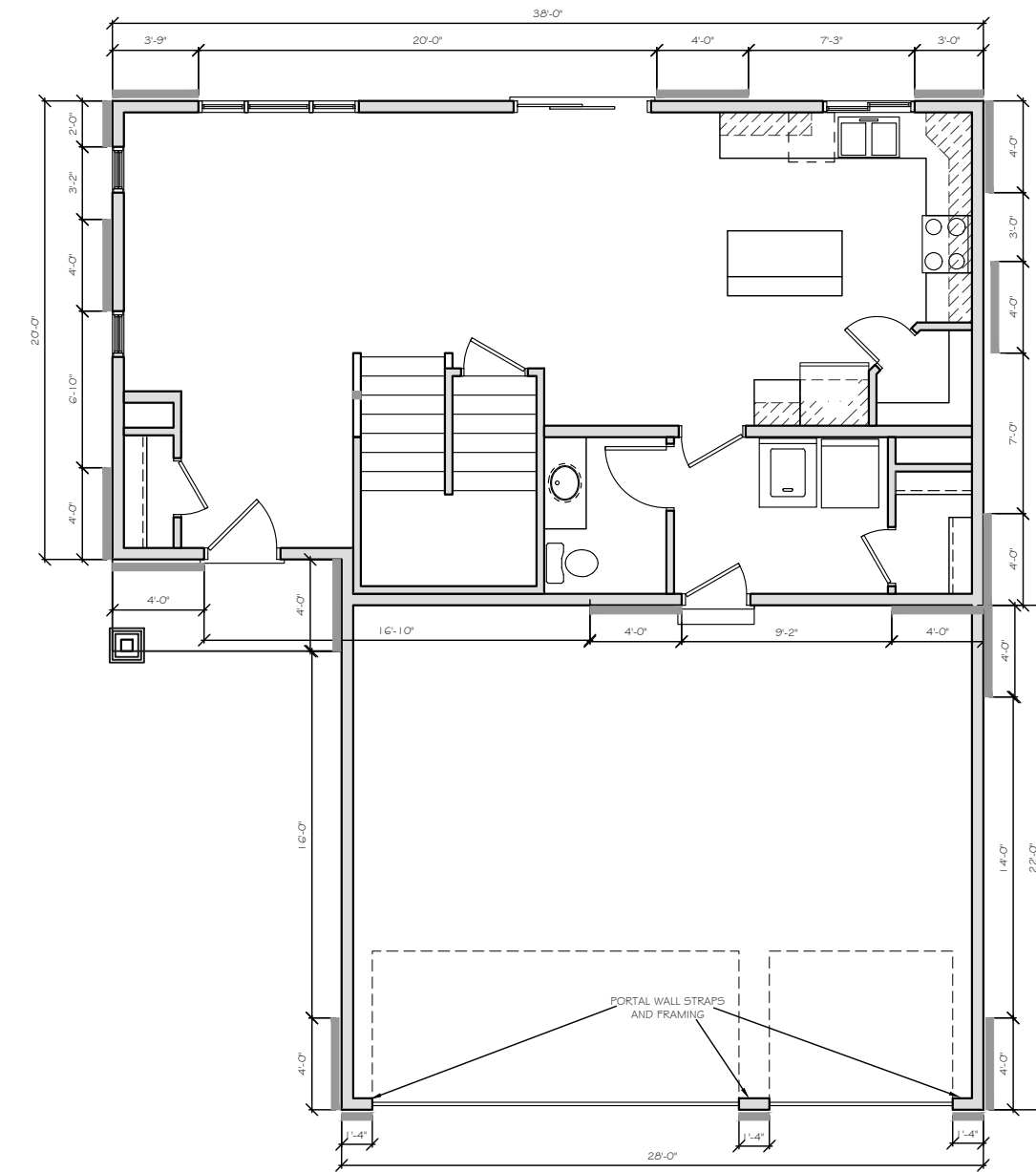
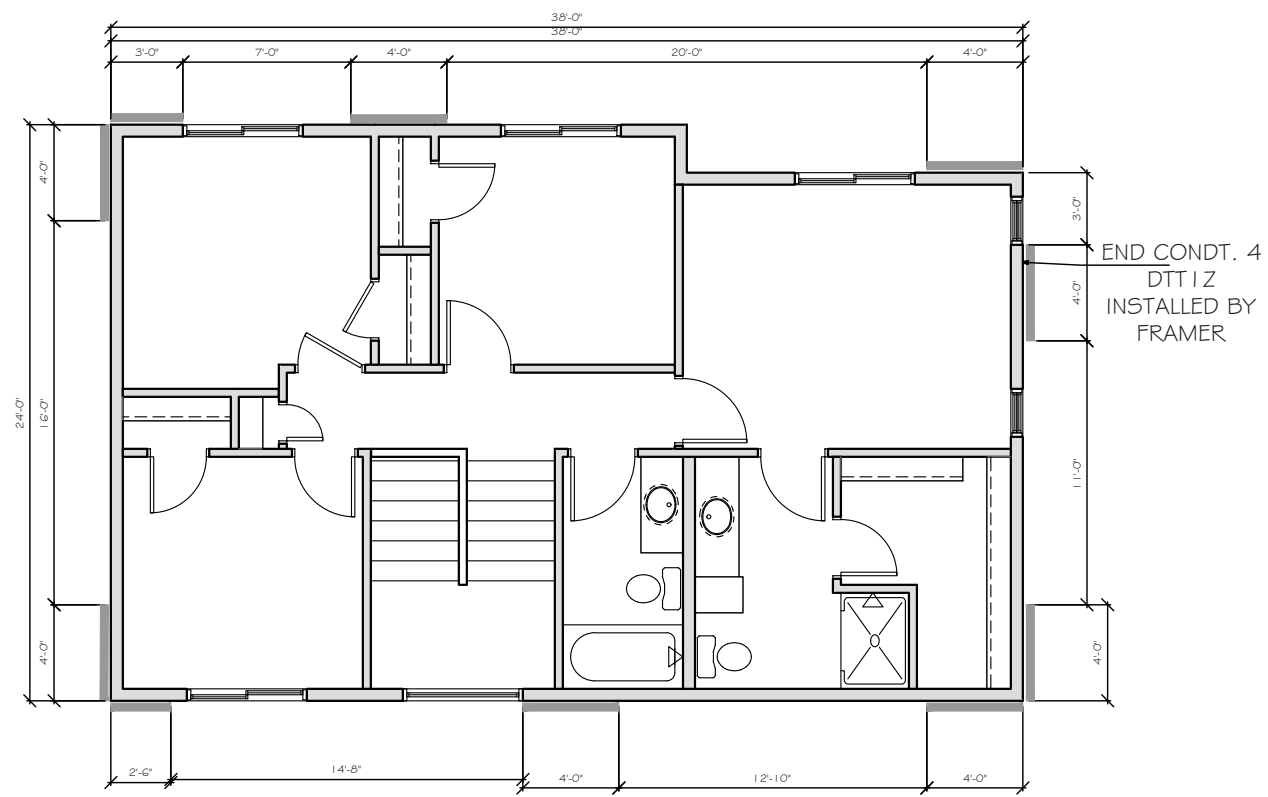
PORTAL WALL FRAMING DETAIL FOR GARAGE



DTT 1 Z HOLD DOWN FOR WIND BRACING



GARAGE PIER HOLD DOWN DETAIL



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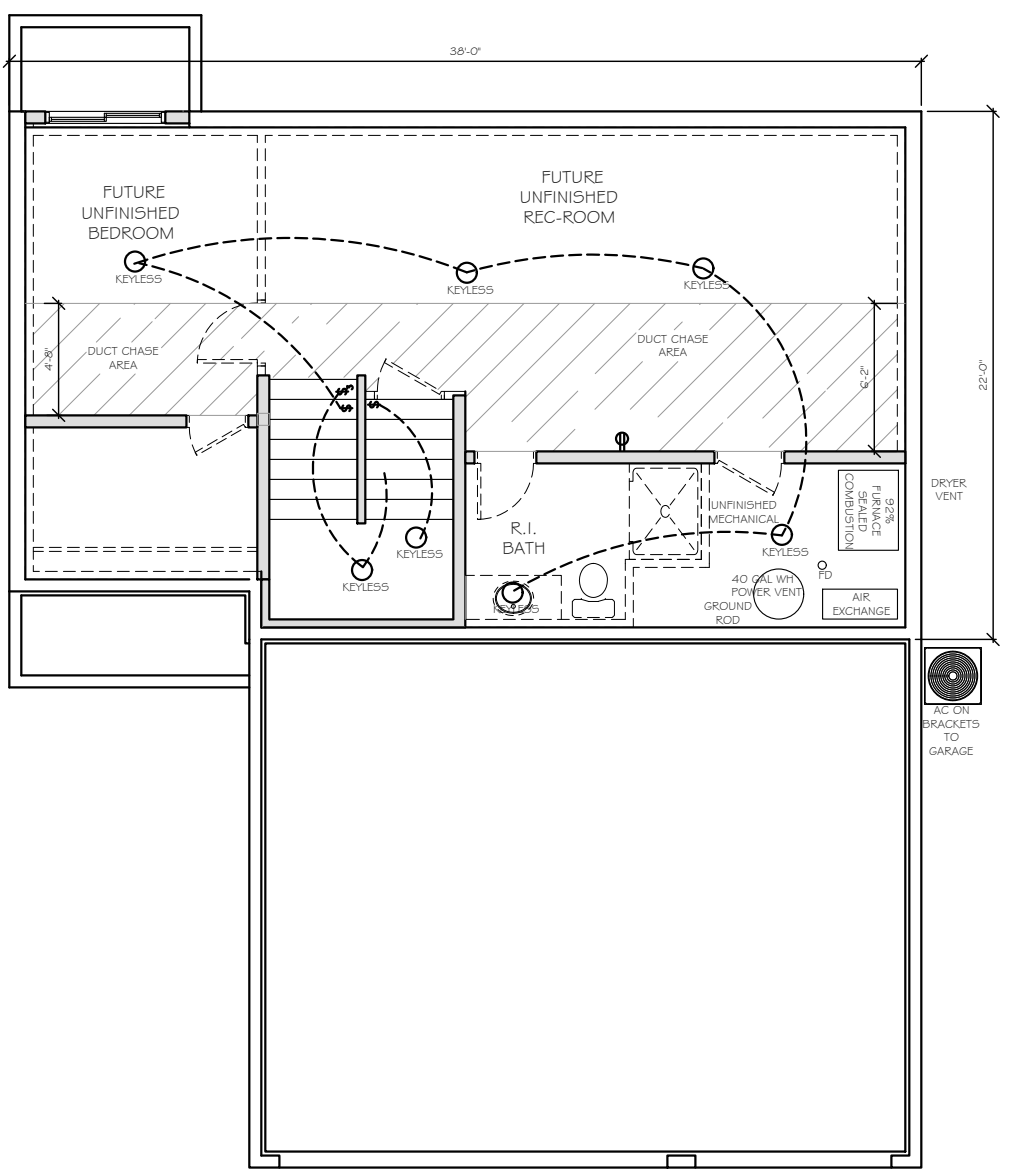
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Homeowner
Signature

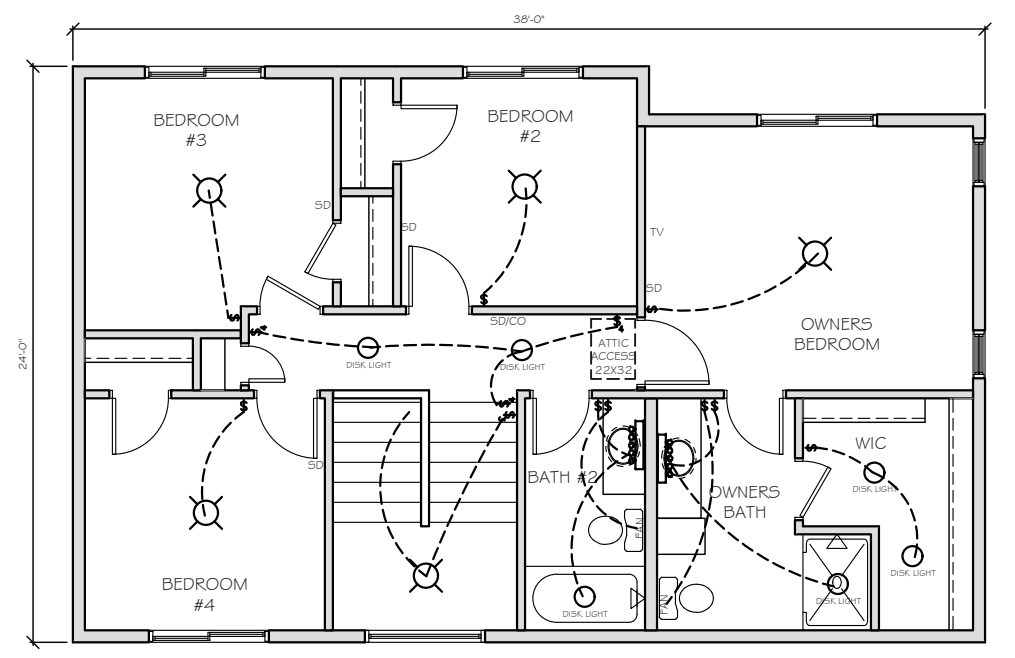
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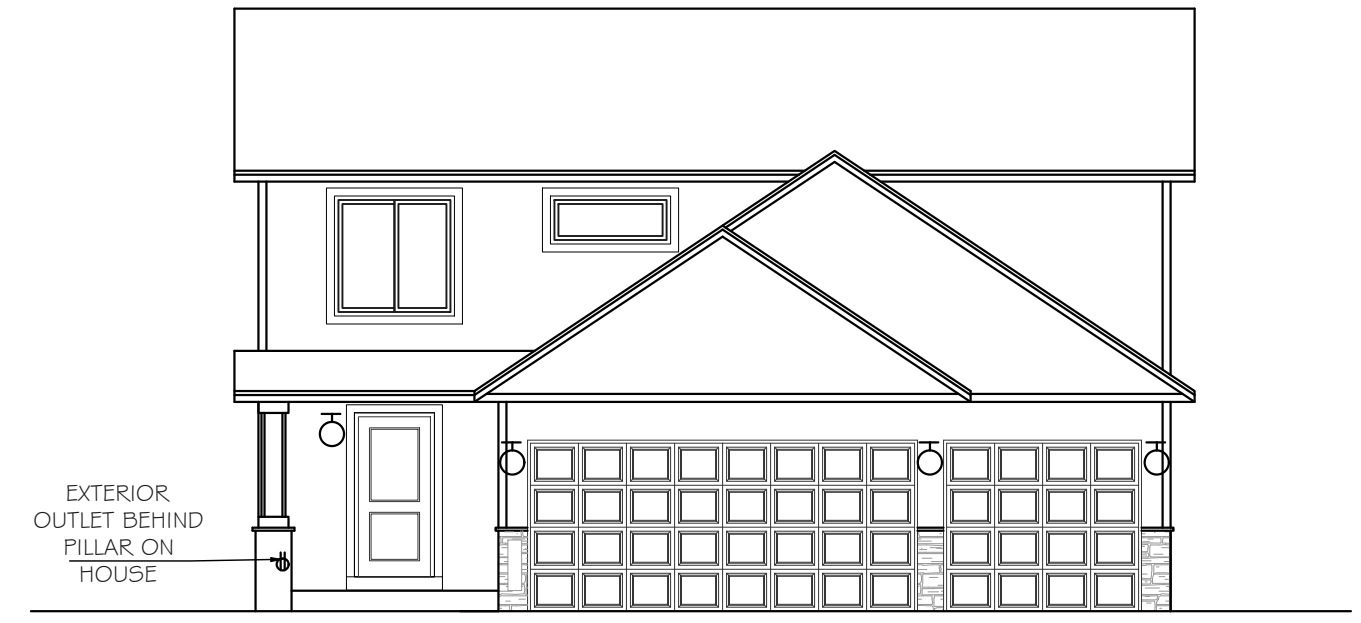
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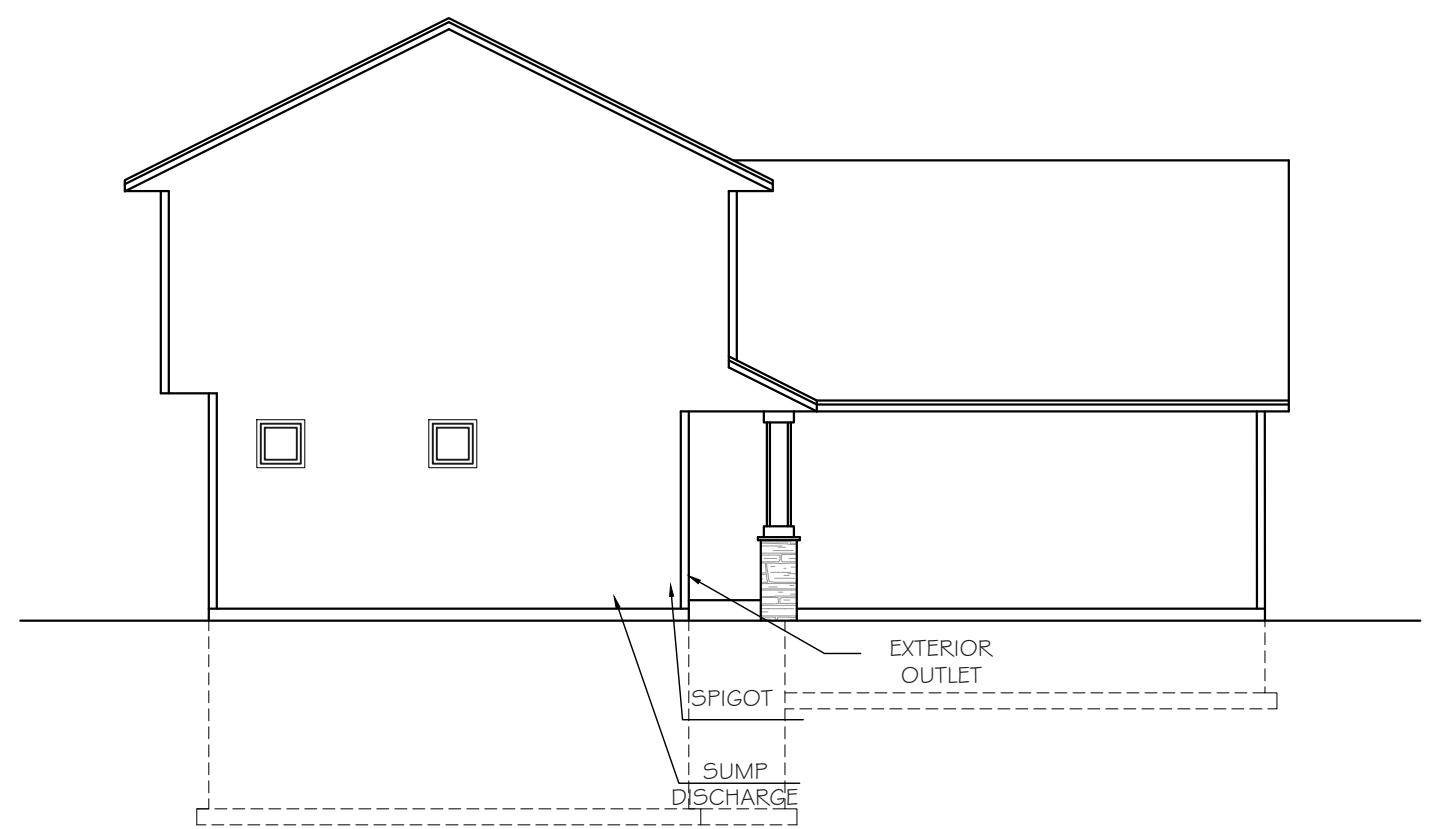
LOWER LEVEL
SCALE: 1/8" = 1'-0"



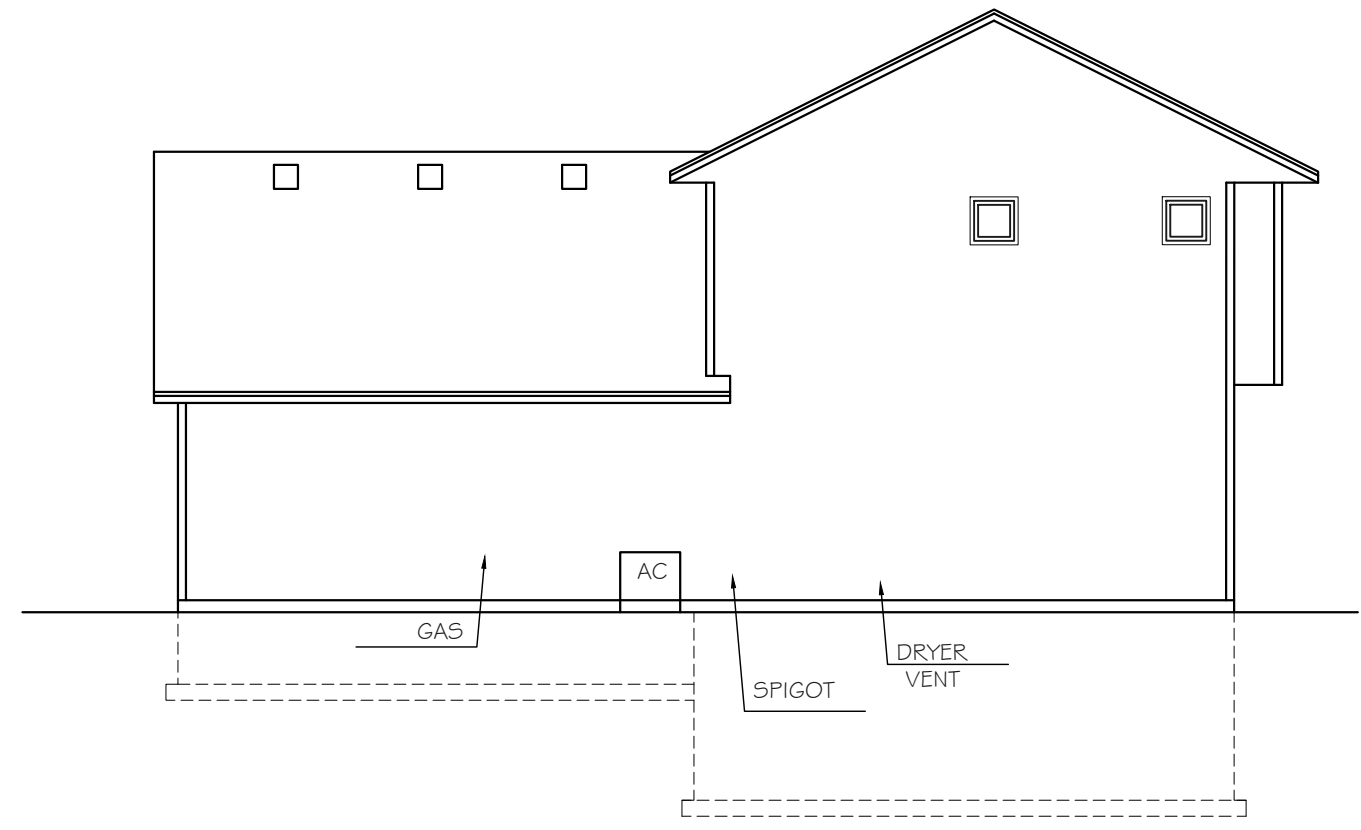
UPPER LEVEL
SCALE: 1/8" = 1'-0"



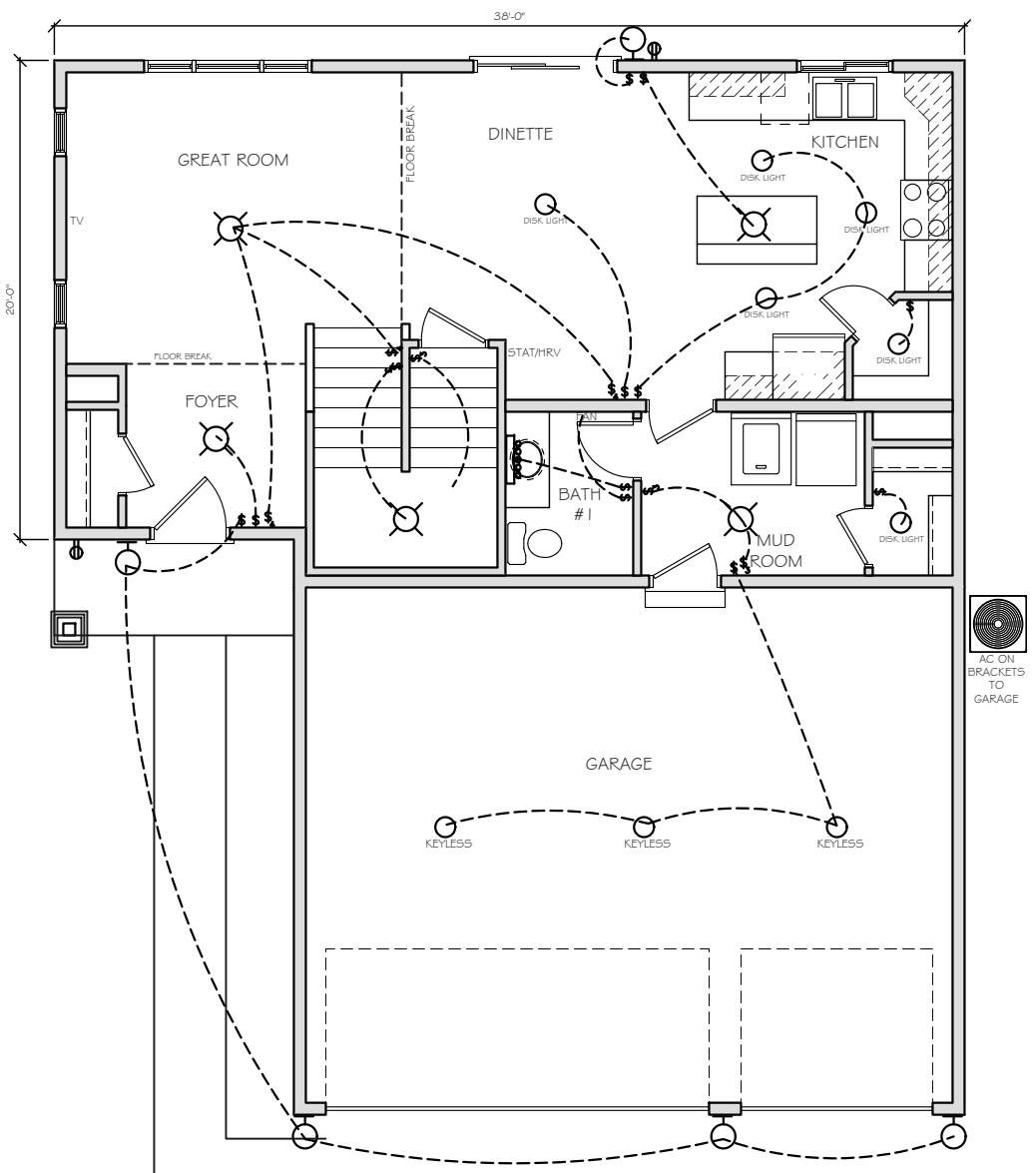
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



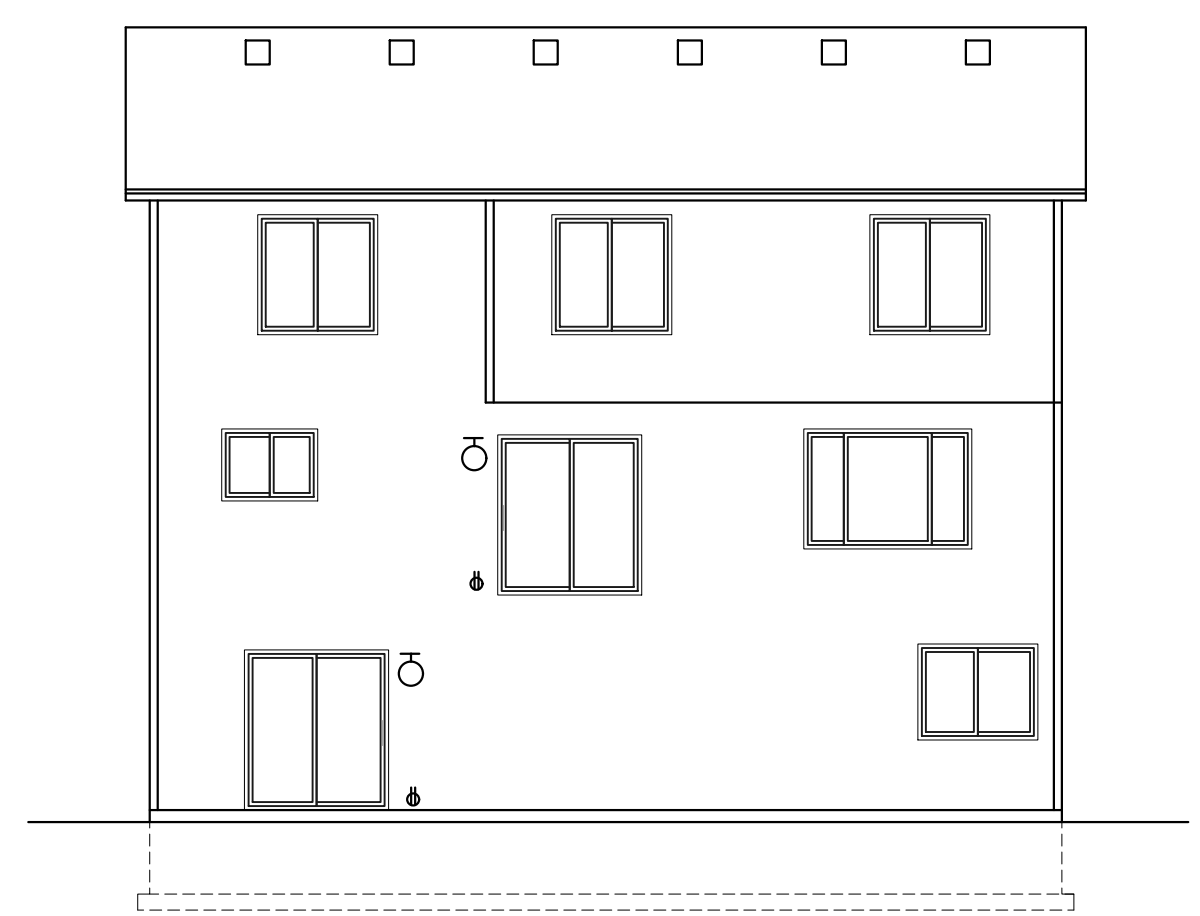
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



MAIN LEVEL
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

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