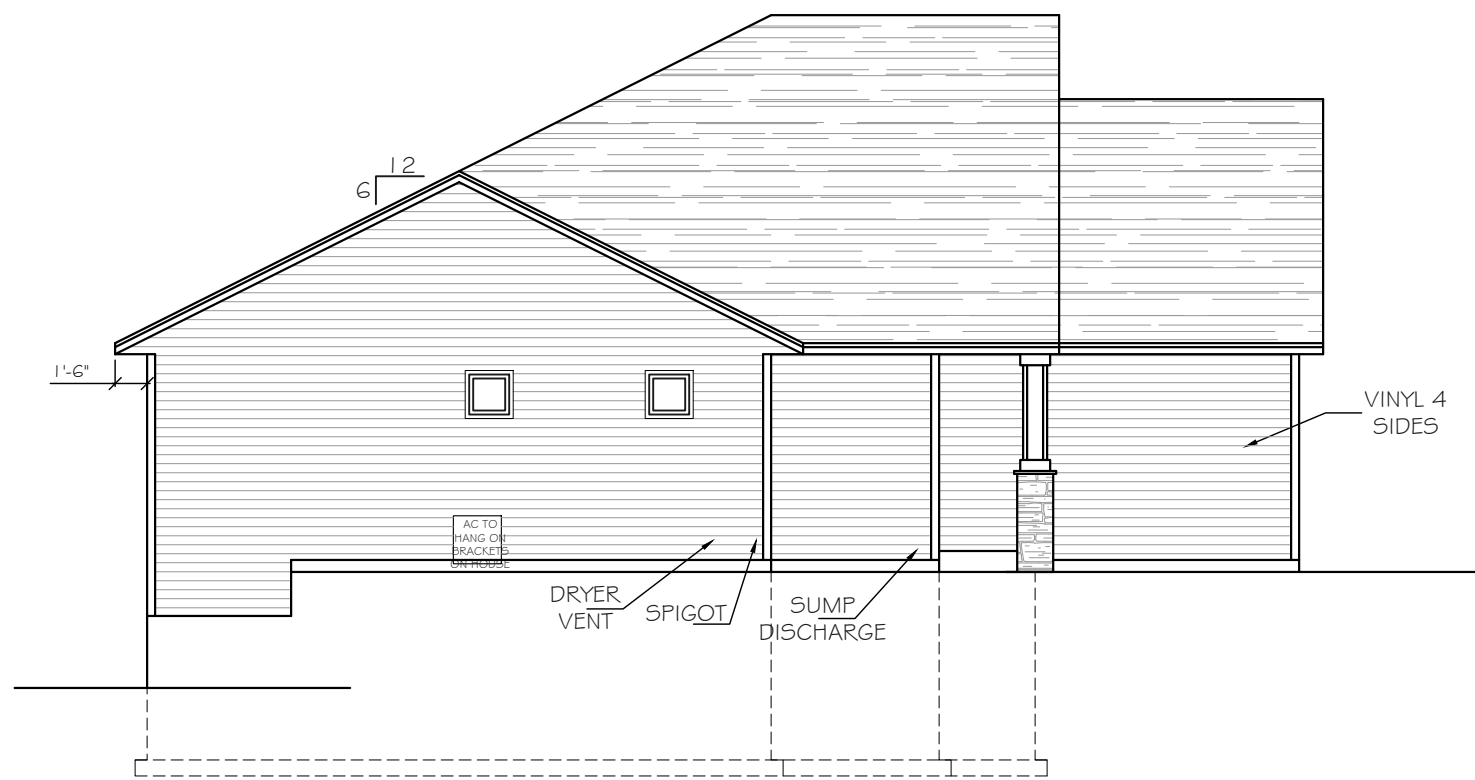


Intellectual property of Fieldstone Family Homes, Inc. © 2008. ALL RIGHTS RESERVED. These plan drawings, including but not limited to, all text, designs, renditions, floor plans, along with the selection and arrangement of thereof, are original copyrighted materials owned by Fieldstone Family Homes, Inc. These materials are protected by federal law against unauthorized copying, or reproduction by unauthorized persons and entities.  
 MN LIC: BCG31164  
 WI LIC: DC-070800080



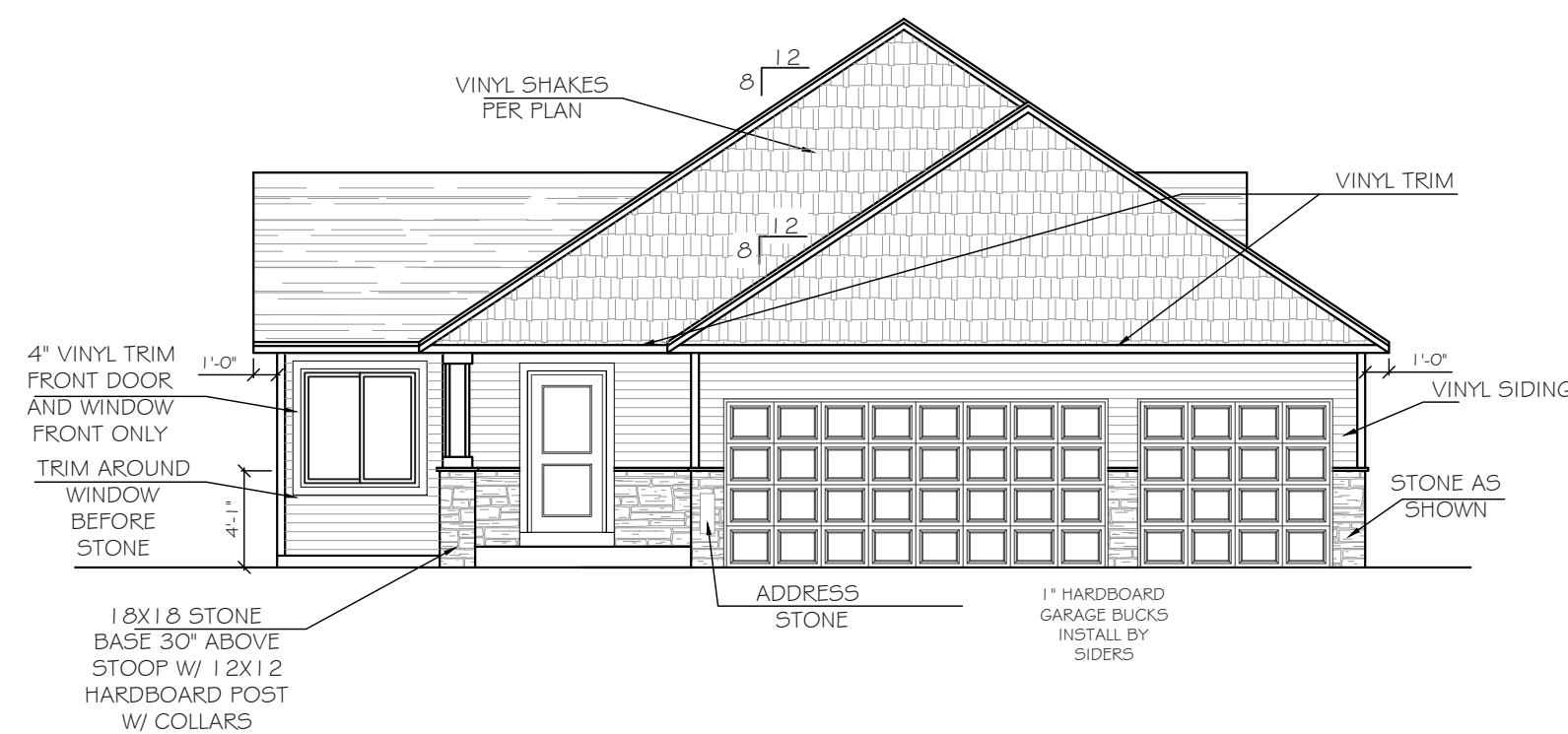
REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"

CLIENT:  
 Project:

LOCATION:

LOT \_ BLK\_ DEVELOPMENT

Street  
 CITY  
 MN ZIP  
 JOB #:

|             |          |
|-------------|----------|
| REVISION 1  | 11.29.23 |
| REVISION 2  |          |
| REVISION 3  |          |
| REVISION 4  |          |
| REVISION 5  |          |
| REVISION 6  |          |
| REVISION 7  |          |
| REVISION 8  |          |
| REVISION 9  |          |
| REVISION 10 |          |
| REVISION 11 |          |
| FINAL       | 11.29.23 |

All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:

Plan: OAKWOOD II

Total Foundation: 1786

House Foundation: 1117

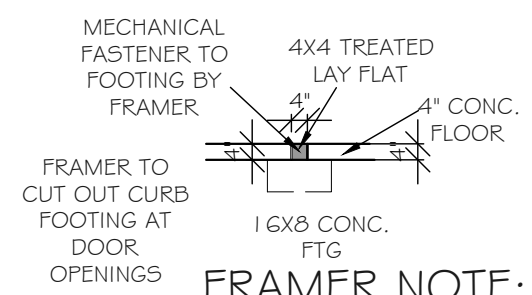
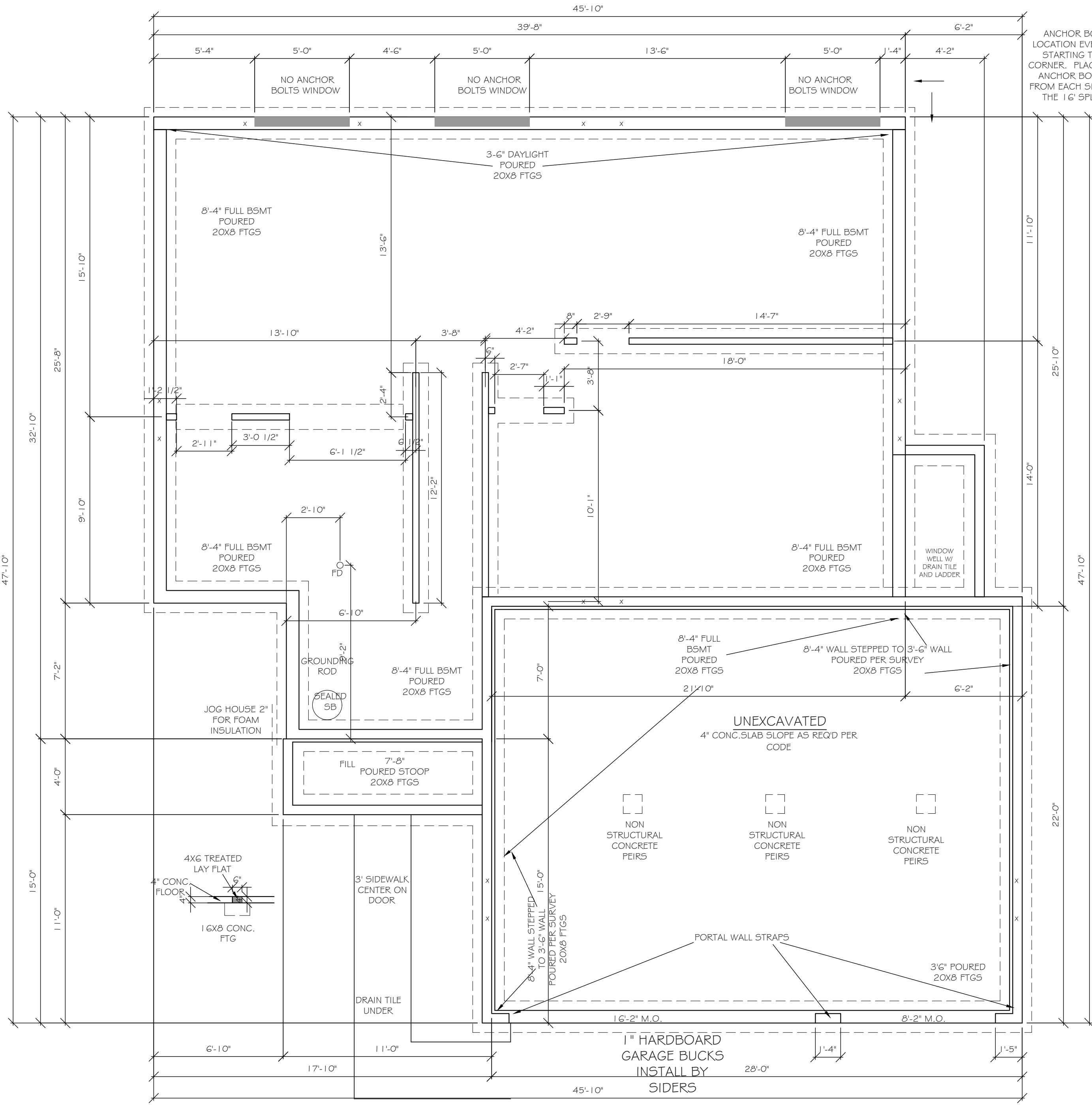
Finished: 2051

Unfinished: 174

Scale: 1/8" = 1'-0"

Fin Sq Ft: 2051

Intellectual property of Fieldstone Family Homes, Inc. © 2008. ALL RIGHTS RESERVED. These plan drawings, including but not limited to, all text, designs, renditions, floor plans, along with the selection and arrangement of thereof, are original copyrighted materials owned by Fieldstone Family Homes, Inc. These materials are protected by federal law against unauthorized copying, or reproduction by unauthorized persons and entities.  
 MN LIC: BC631164  
 WI LIC: DC-070800080



ANCHOR BOLT LOCATION EVERY 6' STARTING THIS CORNER. PLACE ONE ANCHOR BOLT 1' FROM EACH SIDE OF THE 16' SPLICE

FRAMER NOTE:  
 INTERIOR CURB DETAIL FOR 2X4 BEARING WALL

\*ANCHOR BOLTS PLACED ACCORDING TO IRC SECTION 404-R.404.1 (3) TABLE R404.1(1)

DOUBLES AT 16' PLATE SPLICES SO BOLT @ 15' & 17' (x x)

ANCHOR BOLTS CENTER ON WALL WITH FOAM

ANCHOR BOLTS 1 3/4" INSIDE FROM WALLS WITH NO FOAM

CLIENT:  
 Project:

LOCATION:  
 LOT \_ BLK\_ DEVELOPMENT

Street  
 CITY  
 MN ZIP  
 JOB #:

|             |          |
|-------------|----------|
| REVISION 1  | 11.29.23 |
| REVISION 2  |          |
| REVISION 3  |          |
| REVISION 4  |          |
| REVISION 5  |          |
| REVISION 6  |          |
| REVISION 7  |          |
| REVISION 8  |          |
| REVISION 9  |          |
| REVISION 10 |          |
| REVISION 11 |          |
| FINAL       | 11.29.23 |

All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:  
 Plan: OAKWOOD II  
 Total Foundation: 1786  
 House Foundation: 1117  
 Finished: 2051  
 Unfinished: 174

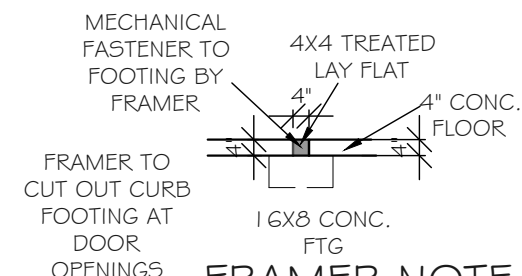
Scale: 1/4" = 1'-0"

Fin Sq Ft:

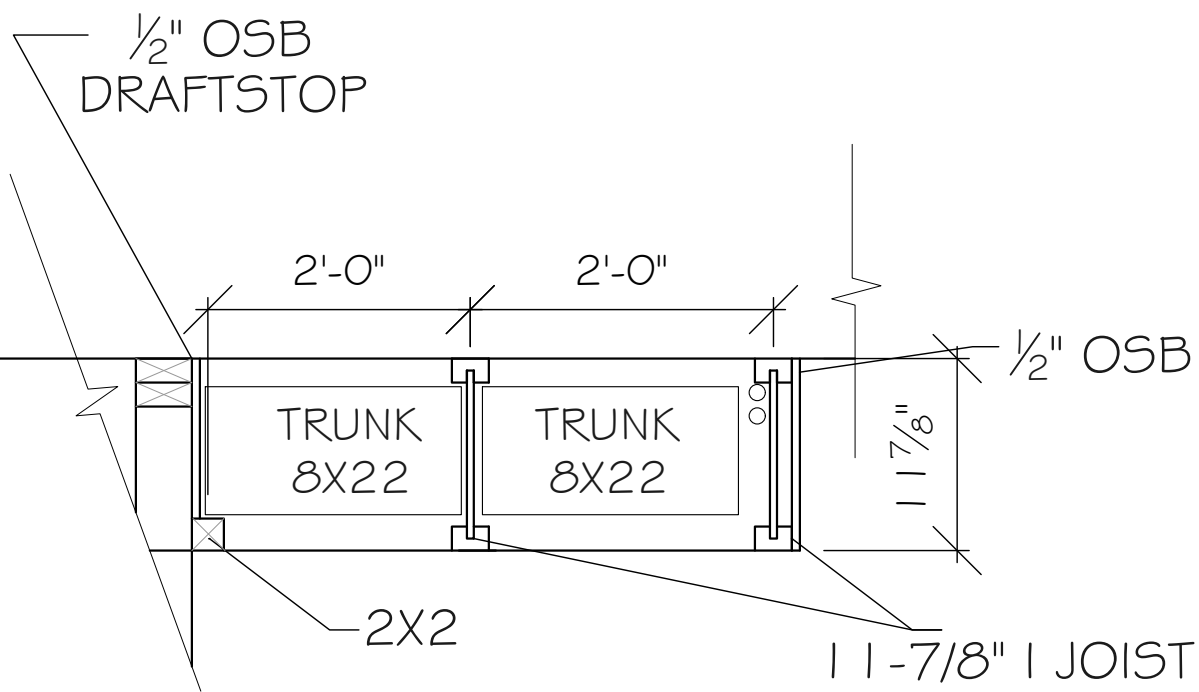
WINDOW INSTALL HEIGHT 83"  
FROM FLOOR

FRAMER NOTE: ALL BRIDGING AND HANGERS GLUED

FRAMER CURB FOOTING NOTE DETAIL

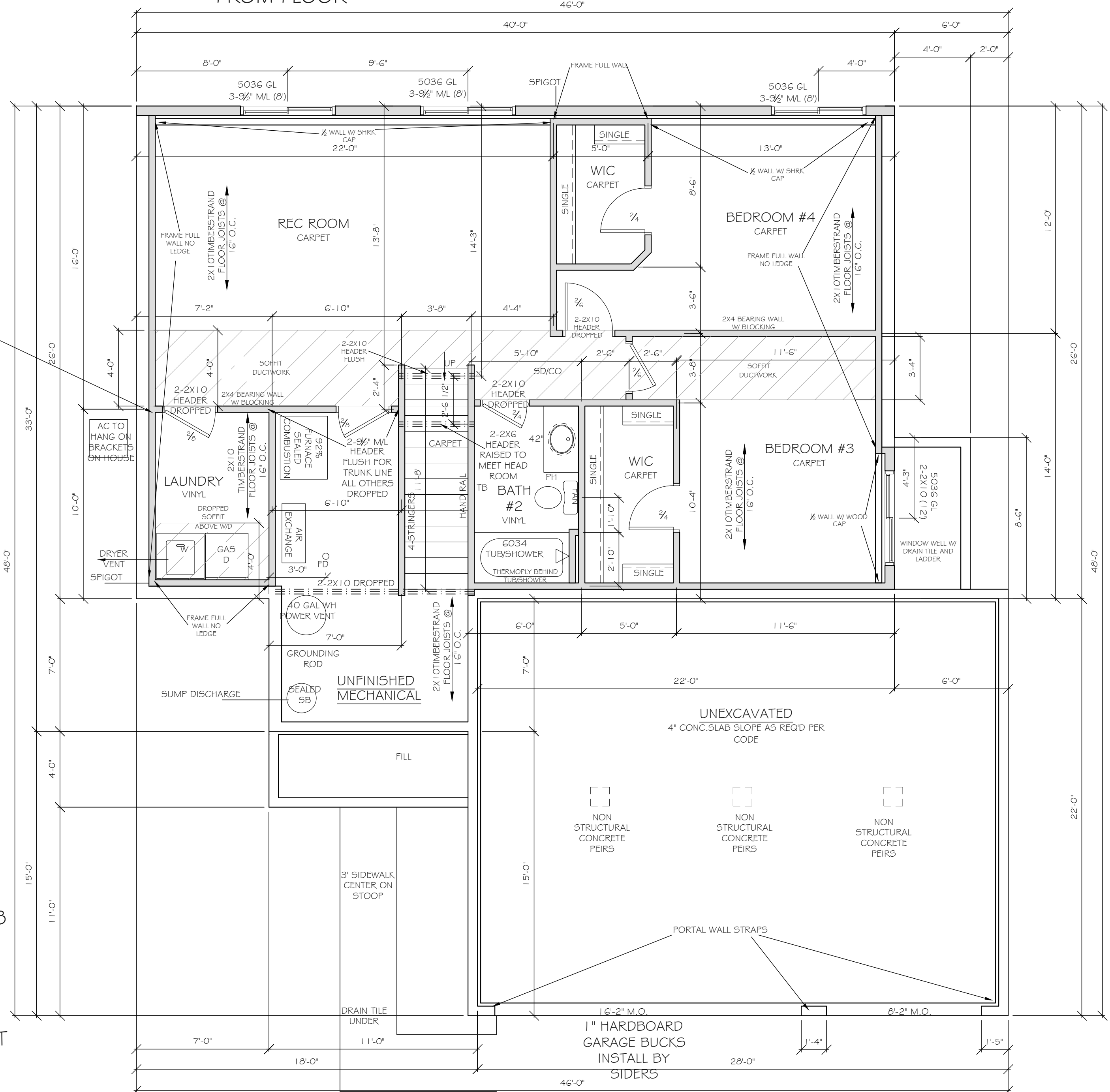


FRAMER NOTE: INTERIOR CURB DETAIL FOR 2X4 BEARING WALL



MECHANICAL SOFFIT DETAIL

1/2" = 1'-0"



Intellectual property of Fieldstone Family Homes, Inc. © 2008. ALL RIGHTS RESERVED. These plan drawings, including but not limited to, all text, designs, renditions, floor plans, along with the selection and arrangement of thereof, are original copyrighted materials owned by Fieldstone Family Homes, Inc. These materials are protected by federal law against unauthorized copying, or reproduction by unauthorized persons and entities.  
MN LIC: BC63 | 164  
WI LIC: DC-070800080

CLIENT:  
Project:

LOCATION:  
LOT \_ BLK\_ DEVELOPMENT

Street  
CITY MN ZIP  
JOB #:

|             |          |
|-------------|----------|
| REVISION 1  | 11.29.23 |
| REVISION 2  |          |
| REVISION 3  |          |
| REVISION 4  |          |
| REVISION 5  |          |
| REVISION 6  |          |
| REVISION 7  |          |
| REVISION 8  |          |
| REVISION 9  |          |
| REVISION 10 |          |
| REVISION 11 |          |
| FINAL       | 11.29.23 |

All changes after above date will be done according to F.F.H. Change Order Policy

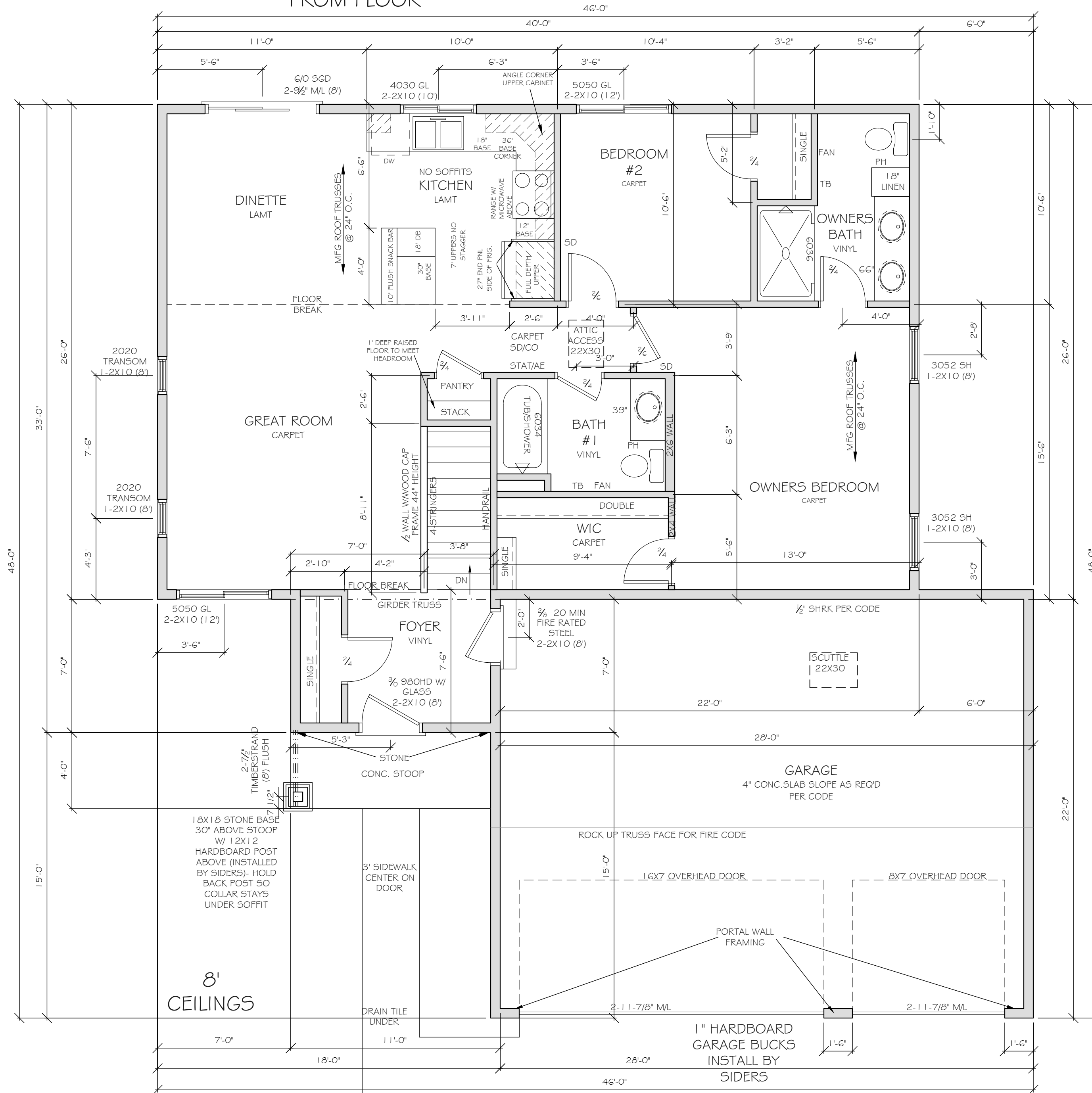
Homeowner Signature

Agent:  
Plan: OAKWOOD II  
Total Foundation: 1786  
House Foundation: 1117  
Finished: 2051  
Unfinished: 174

Scale: 1/4" = 1'-0"

Fin Sq Ft: 934

WINDOW INSTALL HEIGHT 83"  
FROM FLOOR



Intellectual property of Fieldstone Family Homes, Inc. © 2008. ALL RIGHTS RESERVED. These plan drawings, including but not limited to, all text, designs, renditions, floor plans, along with the selection and arrangement of thereof, are original copyrighted materials owned by Fieldstone Family Homes, Inc. These materials are protected by federal law against unauthorized copying, or reproduction by unauthorized persons and entities.  
MN LIC: BC631164  
WI LIC: DC-070800080

CLIENT:

Project:

LOCATION:

LOT \_ BLK\_ DEVELOPMENT

Street

CITY

MN

ZIP

JOB #:

REVISION 1 | 11.29.23

REVISION 2

REVISION 3

REVISION 4

REVISION 5

REVISION 6

REVISION 7

REVISION 8

REVISION 9

REVISION 10

REVISION 11

FINAL | 11.29.23

All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:

Plan: OAKWOOD II

Total Foundation: 1786

House Foundation: 1117

Finished: 2051

Unfinished: 174

Scale: 1/4" = 1'-0"

Fin Sq Ft: 1117

ALL STRUCTURAL LUMBER  
 2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER  
 ALL 2X4 AND 2X6 STUDS WILL BE WESTERN  
 WHITES NO. 2 OR BETTER

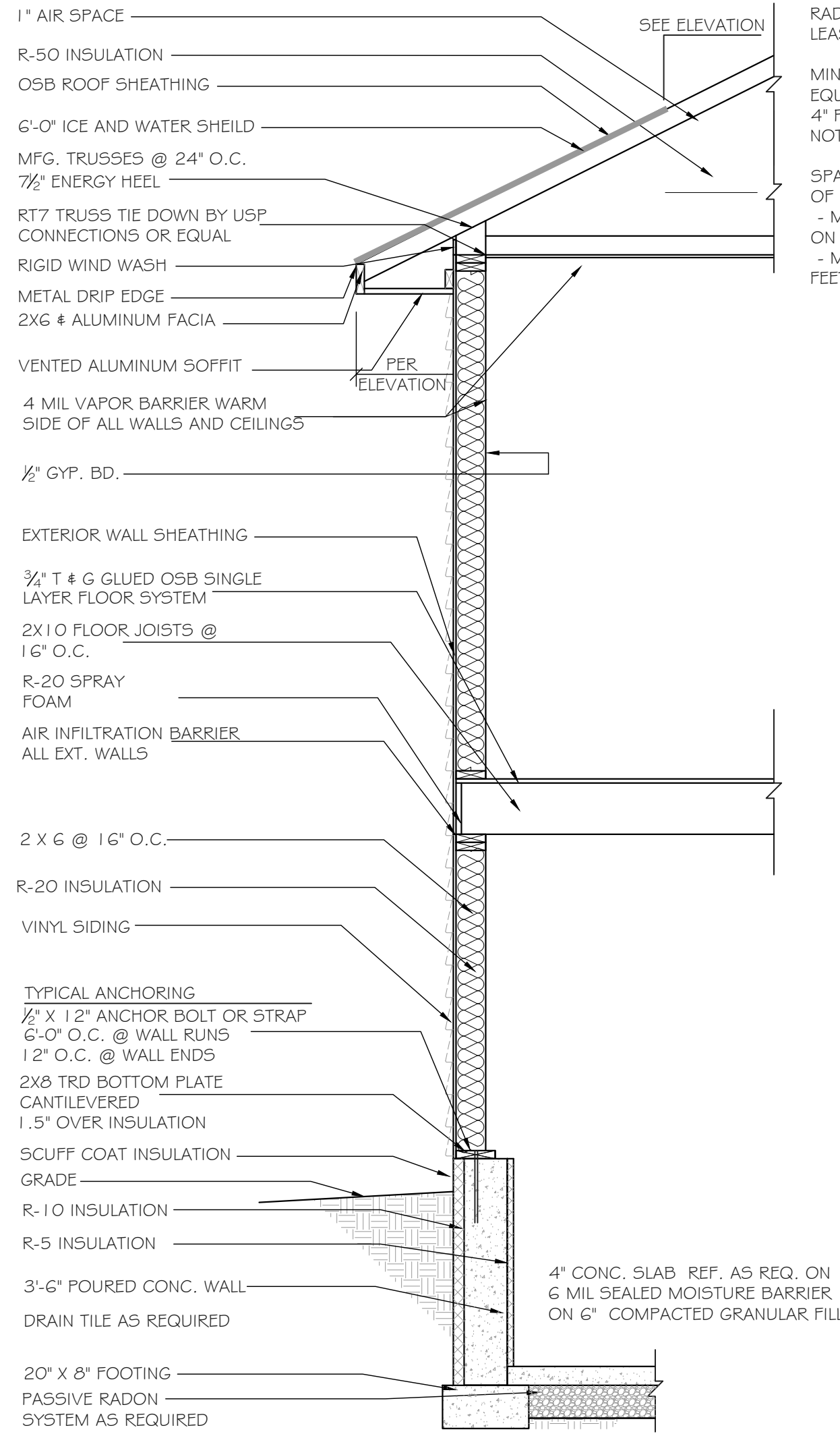
WINDOWS ARE MAXIMUM OF .30  
 U-VALUE WITH MAXIMUM SHGC .29  
 WINDOW FALL PROTECTION PER  
 R312.2.1 AND R312.2.2  
 PATIO DOORS .30U AND .26 SHGC  
 ALL STEEL DOORS .19U

75% OF THE BULBS IN PERMANENTLY INSTALLED  
 LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS  
 REQUIREMENT APPLIES TO INDOOR AND  
 OUTDOOR FIXTURES, INCLUDING ACCESSORY  
 STRUCTURES AND GARAGES. HIGH EFFICACY  
 BULBS ARE: 60 LUMENS/W FOR LAMPS OVER  
 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO  
 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

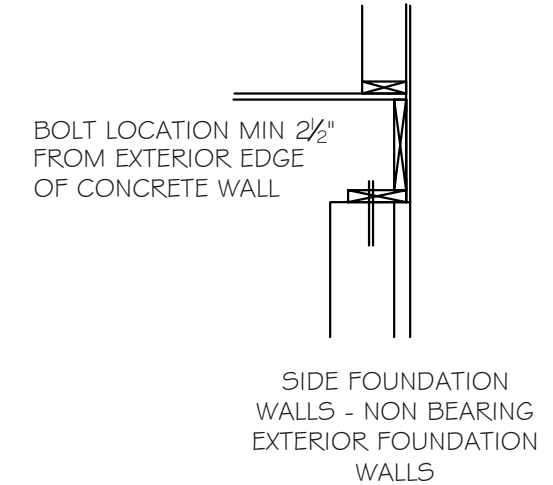
R 404.1 LIGHTING EQUIPMENT  
 A MINIMUM OF 75 PERCENT OF THE LAMPS IN  
 PERMANENTLY INSTALLED LIGHTING FIXTURES  
 SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM  
 OF 75 PERCENT OF THE PERMANENTLY INSTALLED  
 LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH  
 EFFICACY LAMPS.

\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL  
 LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2012

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT  
 1/2 IN ROOF NEAR RIDGE  
 FLASH ABOVE ALL EXTERIOR OPENINGS  
 SHINGLES PER ELEVATION/SPECS.  
 15# FELT  
 1/2" ROOF SHEATHING



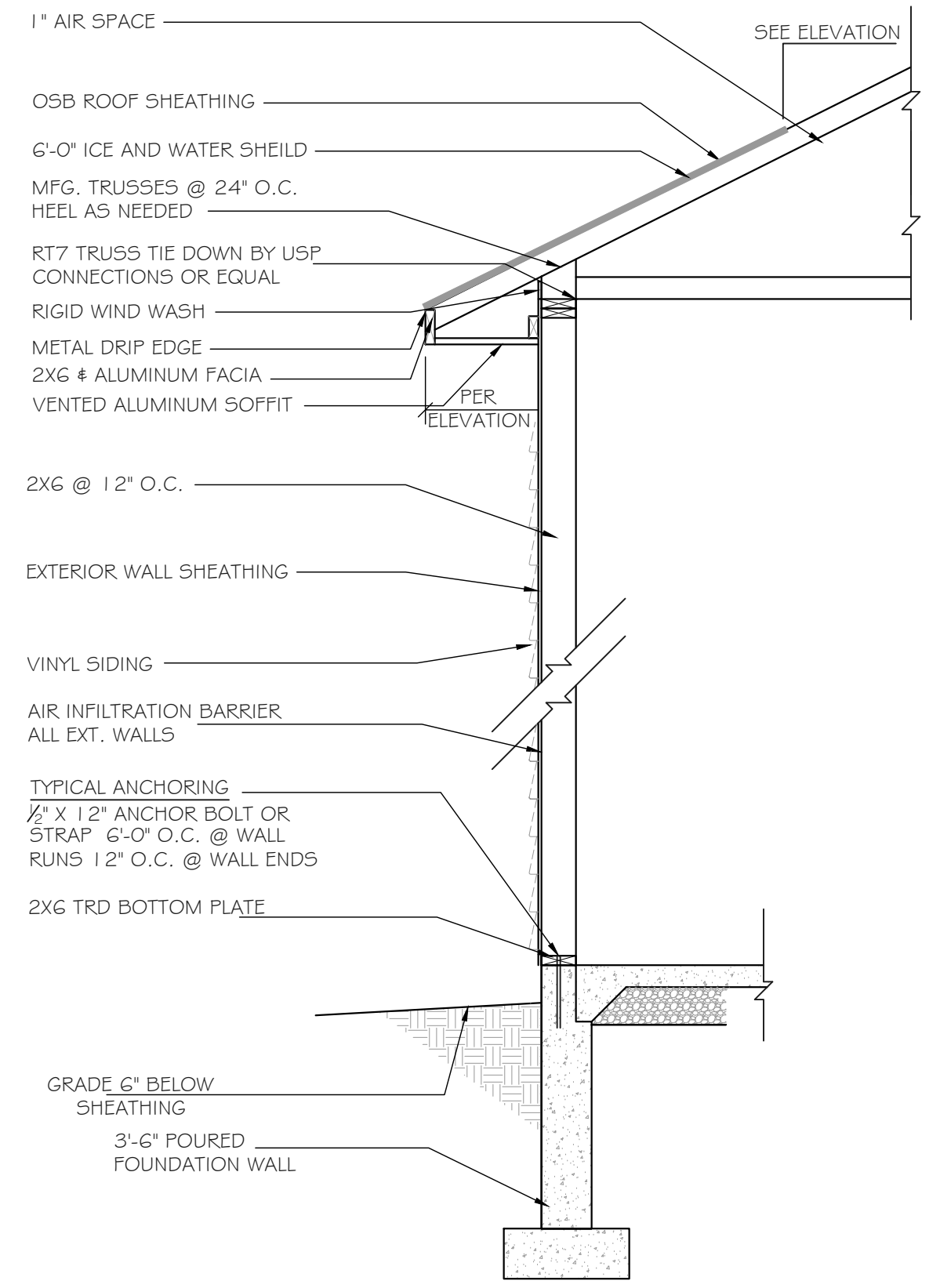
RADON VENT PIPE TERMINATED AT LEAST 12" ABOVE SURFACE OF ROOF  
 MINIMUM 3" ABS OR PVC OR EQUIVALENT GAS TIGHT PIPE  
 4" PIPE MAY BE MORE EFFECTIVE, BUT NOT REQUIRED  
 SPACE PROVIDED FOR INSTALLATION OF A FAN  
 - MINIMUM 24" DIAMETER CENTERED ON THE AXIS OF THE VENT STACK  
 - MINIMUM VERTICAL DISTANCE OF 3 FEET



DAYLIGHT WALL

\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL  
 LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT  
 1/2 IN ROOF NEAR RIDGE  
 FLASH ABOVE ALL EXTERIOR OPENINGS  
 SHINGLES PER ELEVATION/SPECS.  
 15# FELT  
 1/2" ROOF SHEATHING



EXTERIOR GARAGE WALL

Intellectual property of Fieldstone Family Homes, Inc. © 2008. ALL RIGHTS RESERVED. These plan drawings, including but not limited to, all text, designs, renditions, floor plans, along with the selection and arrangement of thereof, are original copyrighted materials owned by Fieldstone Family Homes, Inc. These materials are protected by federal law against unauthorized copying, or reproduction by unauthorized persons and entities.  
 MN LIC: BC631164  
 WI LIC: DC-070800080

CLIENT:  
 Project:

LOCATION:  
 LOT\_BLK\_DEVELOPMENT  
 Street  
 CITY  
 MN ZIP  
 JOB #:

|             |          |
|-------------|----------|
| REVISION 1  | 11.29.23 |
| REVISION 2  |          |
| REVISION 3  |          |
| REVISION 4  |          |
| REVISION 5  |          |
| REVISION 6  |          |
| REVISION 7  |          |
| REVISION 8  |          |
| REVISION 9  |          |
| REVISION 10 |          |
| REVISION 11 |          |
| FINAL       | 11.29.23 |

All changes after above date will be done according to F.F.H. Change Order Policy

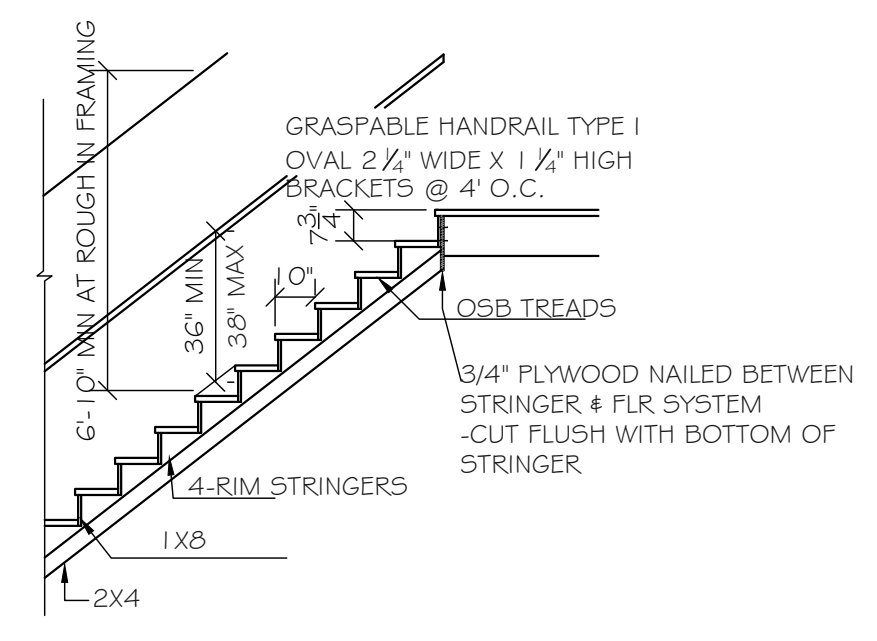
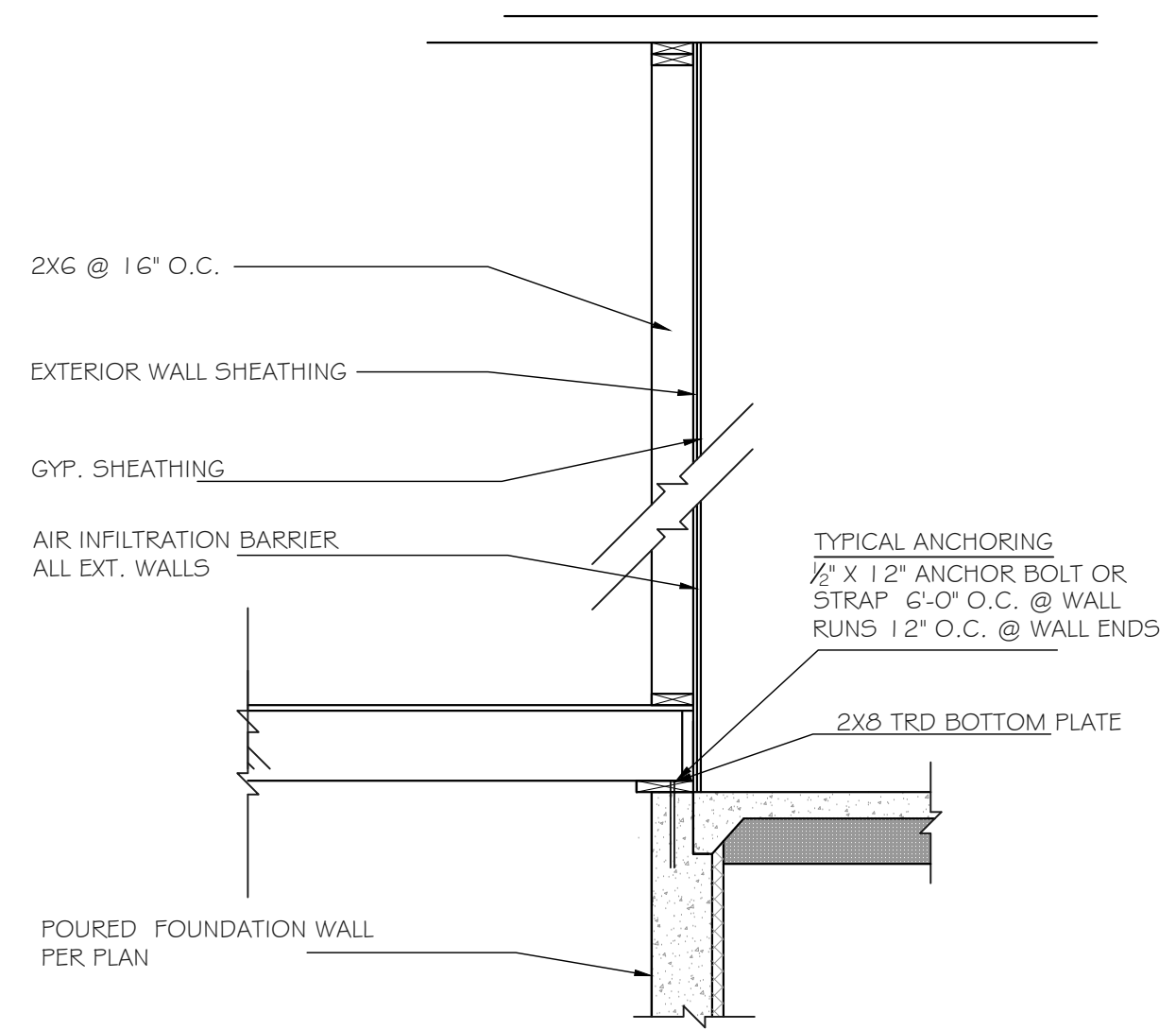
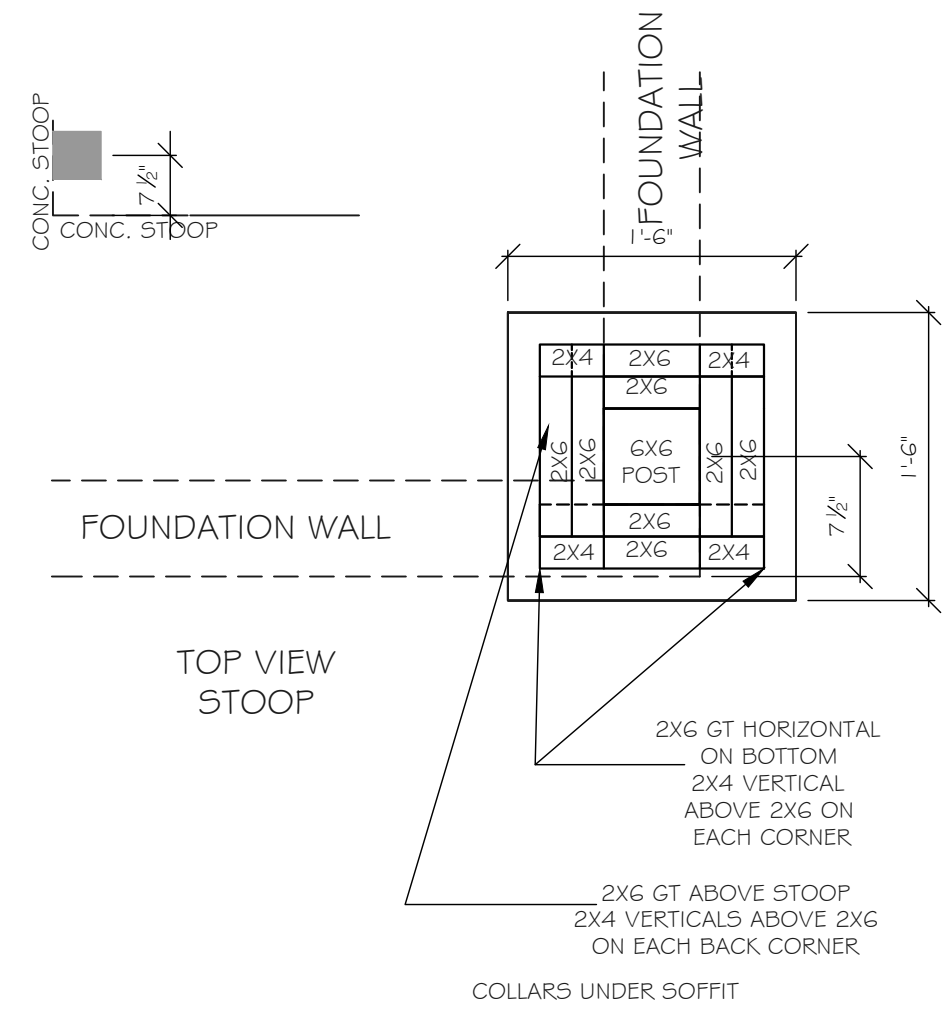
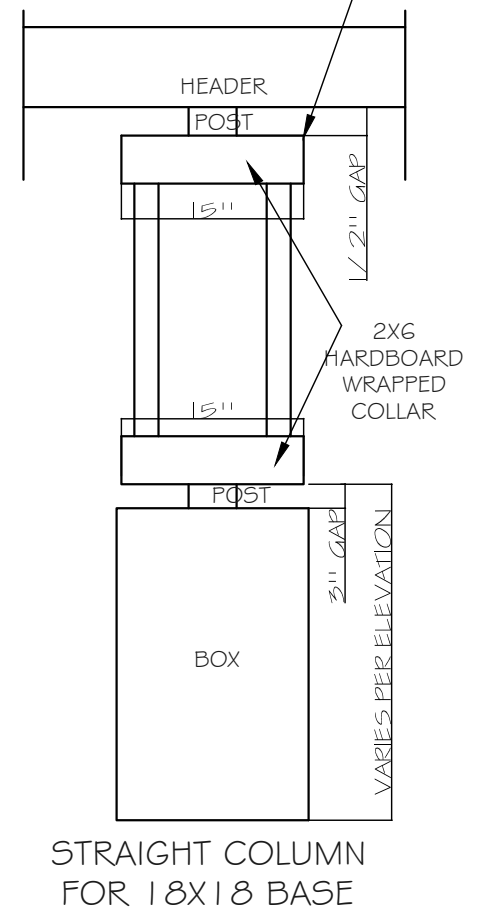
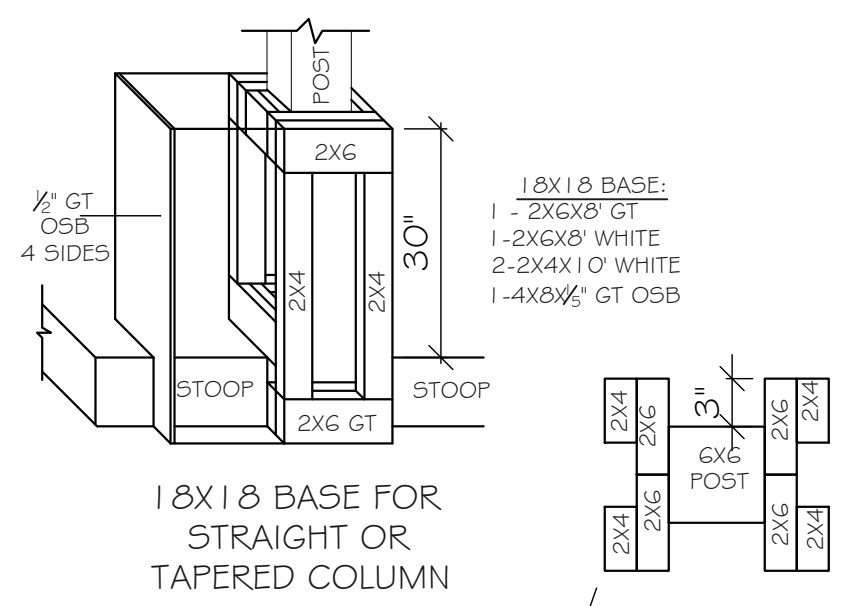
Homeowner Signature

Agent:  
 Plan: OAKWOOD II  
 Total Foundation: 1786  
 House Foundation: 1117  
 Finished: 2051  
 Unfinished: 174

Scale: 1/4" = 1'-0"

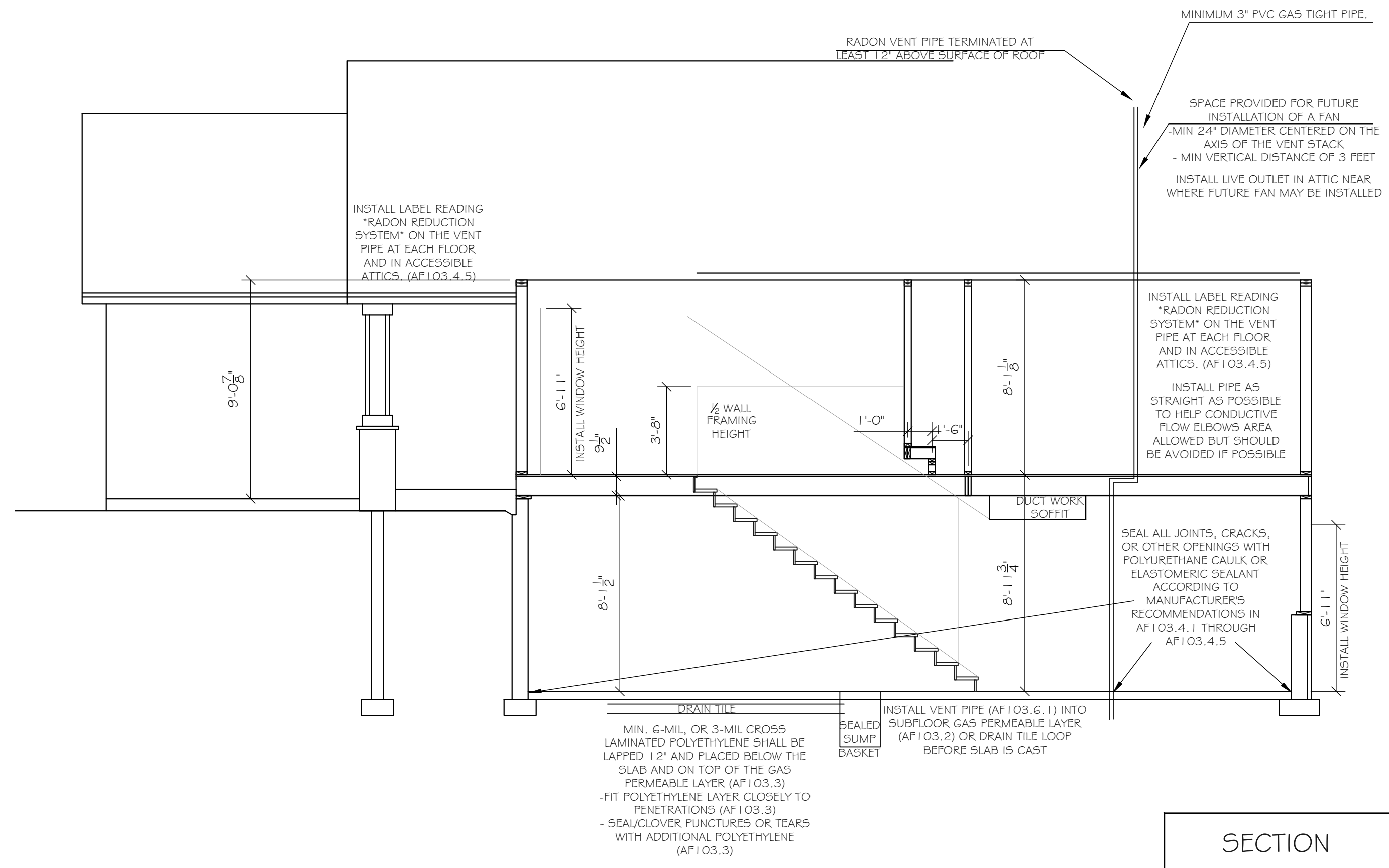
Fin Sq Ft:

Intellectual property of Fieldstone Family Homes, Inc. © 2008. ALL RIGHTS RESERVED. These plan drawings, including but not limited to, all text, designs, renditions, floor plans, along with the selection and arrangement of thereof, are original copyrighted materials owned by Fieldstone Family Homes, Inc. These materials are protected by federal law against unauthorized copying, or reproduction by unauthorized persons and entities.  
 MN LIC: BC631164  
 WI LIC: DC-070800080



INTERIOR STAIR DETAIL

# GARAGE COMMON WALL



CLIENT:  
 Project:

LOCATION:  
 LOT \_ BLK\_ DEVELOPMENT

Street  
 CITY  
 MN ZIP  
 JOB #:

|             |          |
|-------------|----------|
| REVISION 1  | 11.29.23 |
| REVISION 2  |          |
| REVISION 3  |          |
| REVISION 4  |          |
| REVISION 5  |          |
| REVISION 6  |          |
| REVISION 7  |          |
| REVISION 8  |          |
| REVISION 9  |          |
| REVISION 10 |          |
| REVISION 11 |          |
| FINAL       | 11.29.23 |

All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:  
 Plan: OAKWOOD II  
 Total Foundation: 1786  
 House Foundation: 1117  
 Finished: 2051  
 Unfinished: 174

Scale: 1/4" = 1'-0"

Fin Sq Ft:





Intellectual property of Fieldstone Family Homes, Inc. © 2008. ALL RIGHTS RESERVED. These plan drawings, including but not limited to, all text, designs, renditions, floor plans, along with the selection and arrangement of thereof, are original copyrighted materials owned by Fieldstone Family Homes, Inc. These materials are protected by federal law against unauthorized copying, or reproduction by unauthorized persons and entities.

MN LIC: BC631164  
WI LIC: DC-070800080

CLIENT:  
Project:

LOCATION:  
LOT \_ BLK\_ DEVELOPMENT  
  
Street  
CITY  
MN ZIP  
JOB #:

|             |          |
|-------------|----------|
| REVISION 1  | 11.29.23 |
| REVISION 2  |          |
| REVISION 3  |          |
| REVISION 4  |          |
| REVISION 5  |          |
| REVISION 6  |          |
| REVISION 7  |          |
| REVISION 8  |          |
| REVISION 9  |          |
| REVISION 10 |          |
| REVISION 11 |          |
| FINAL       | 11.29.23 |

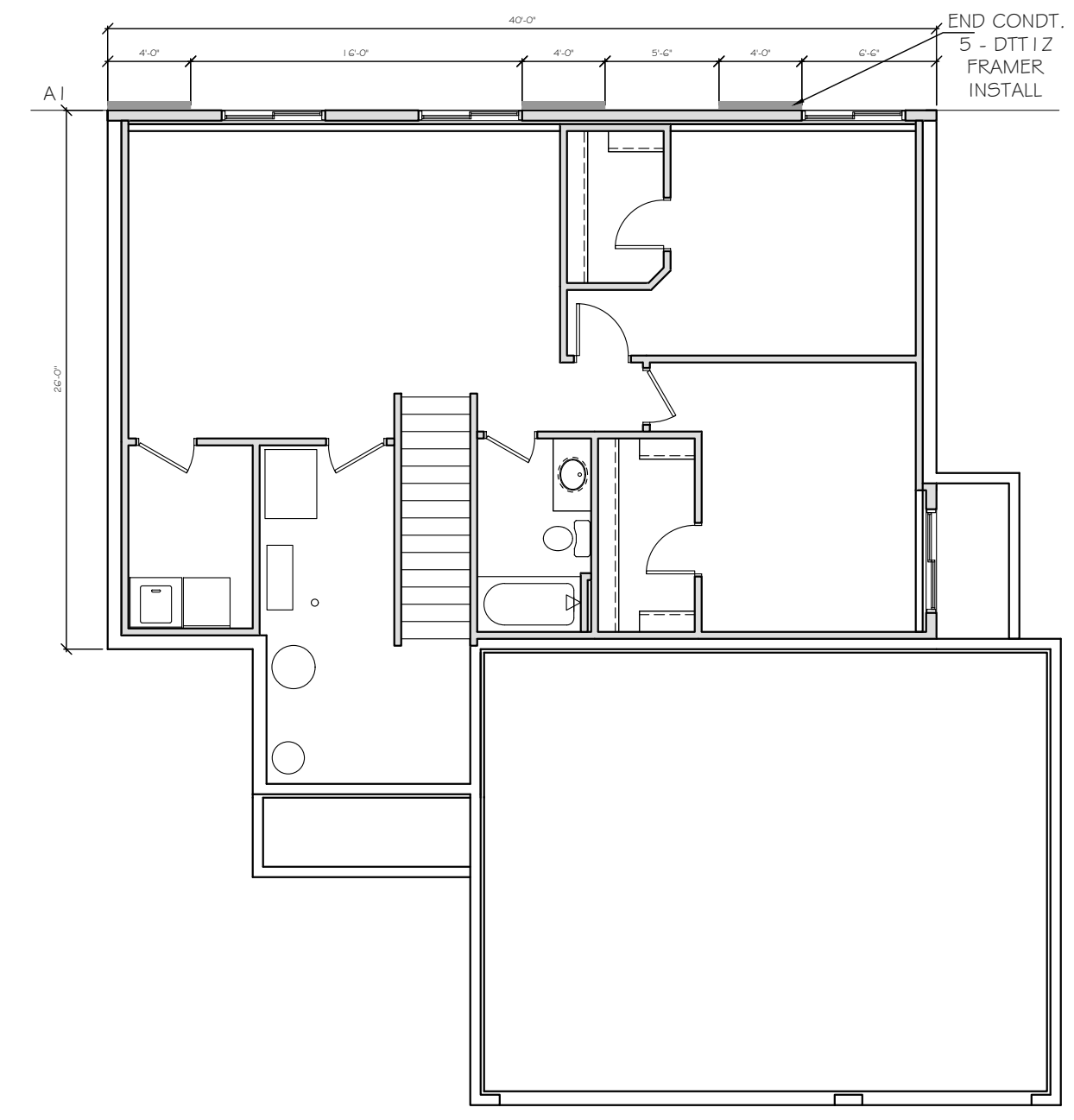
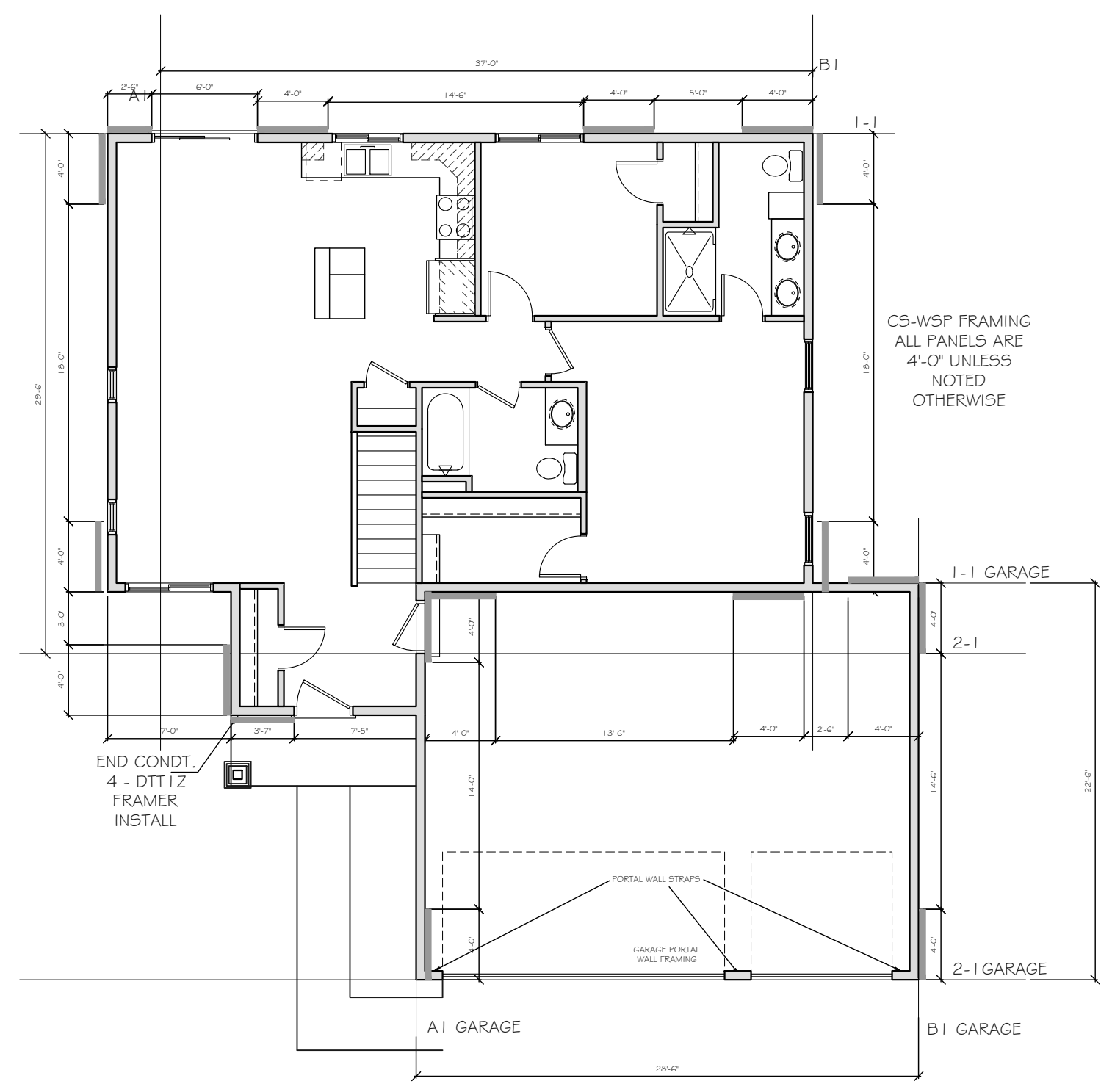
All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner  
Signature

Agent:  
Plan: OAKWOOD II  
Total Foundation: 1786  
House Foundation: 1117  
Finished: 2051  
Unfinished: 174

Scale: 1/8" = 1'-0"

Fin Sq Ft:





Intellectual property of Fieldstone Family Homes, Inc. © 2008. ALL RIGHTS RESERVED. These plan drawings, including but not limited to, all text, designs, renditions, floor plans, along with the selection and arrangement of thereof, are original copyrighted materials owned by Fieldstone Family Homes, Inc. These materials are protected by federal law against unauthorized copying, or reproduction by unauthorized persons and entities.

MN LIC: BC631164  
WI LIC: DC-070800080

CLIENT:  
Project:

LOCATION:  
LOT \_ BLK\_ DEVELOPMENT

Street  
CITY  
MN ZIP  
JOB #:

|             |          |
|-------------|----------|
| REVISION 1  | 11.29.23 |
| REVISION 2  |          |
| REVISION 3  |          |
| REVISION 4  |          |
| REVISION 5  |          |
| REVISION 6  |          |
| REVISION 7  |          |
| REVISION 8  |          |
| REVISION 9  |          |
| REVISION 10 |          |
| REVISION 11 |          |
| FINAL       | 11.29.23 |

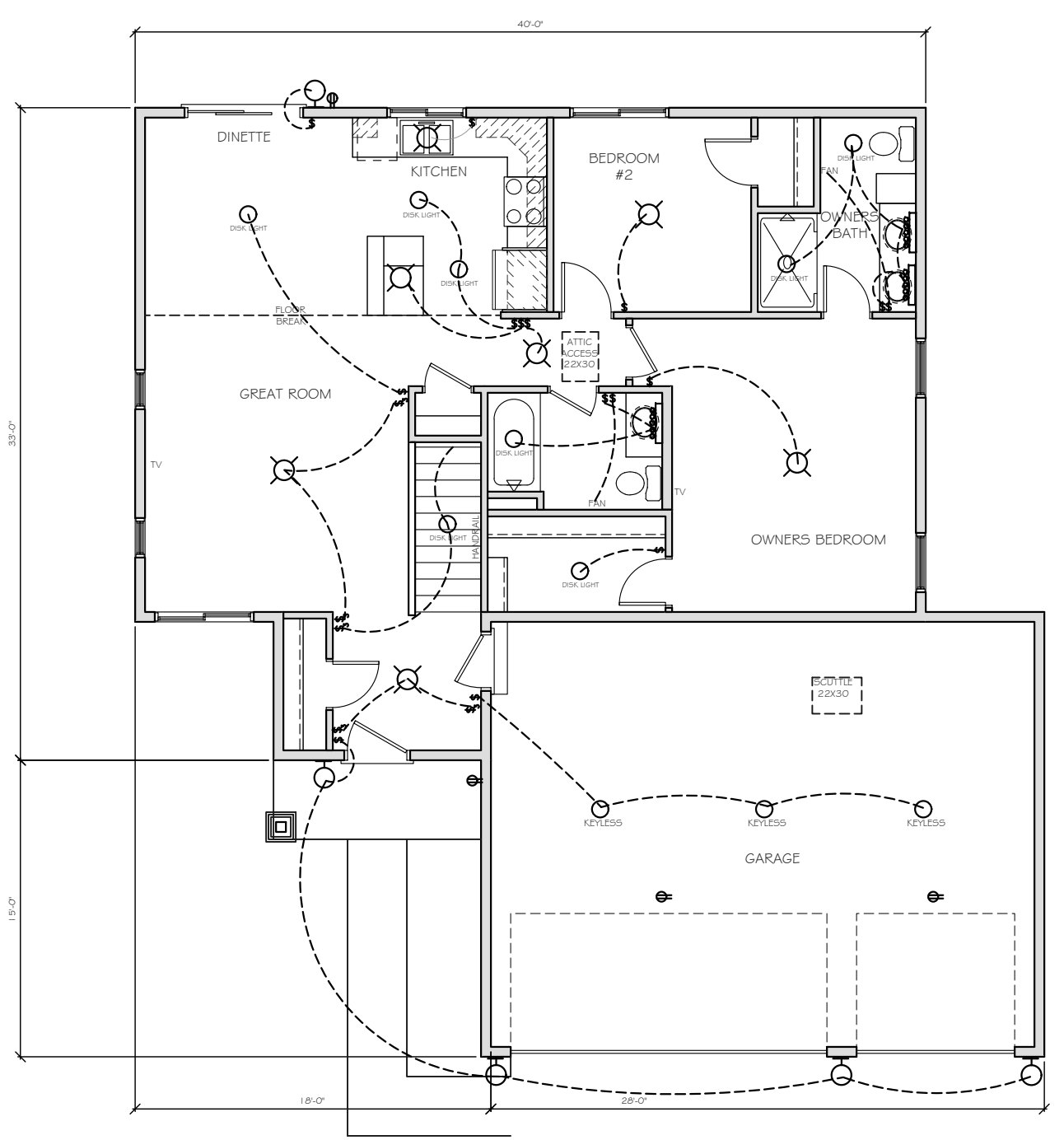
All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:  
Plan: OAKWOOD II  
Total Foundation: 1786  
House Foundation: 1117  
Finished: 2051  
Unfinished: 174

Scale: 1/8" = 1'-0"

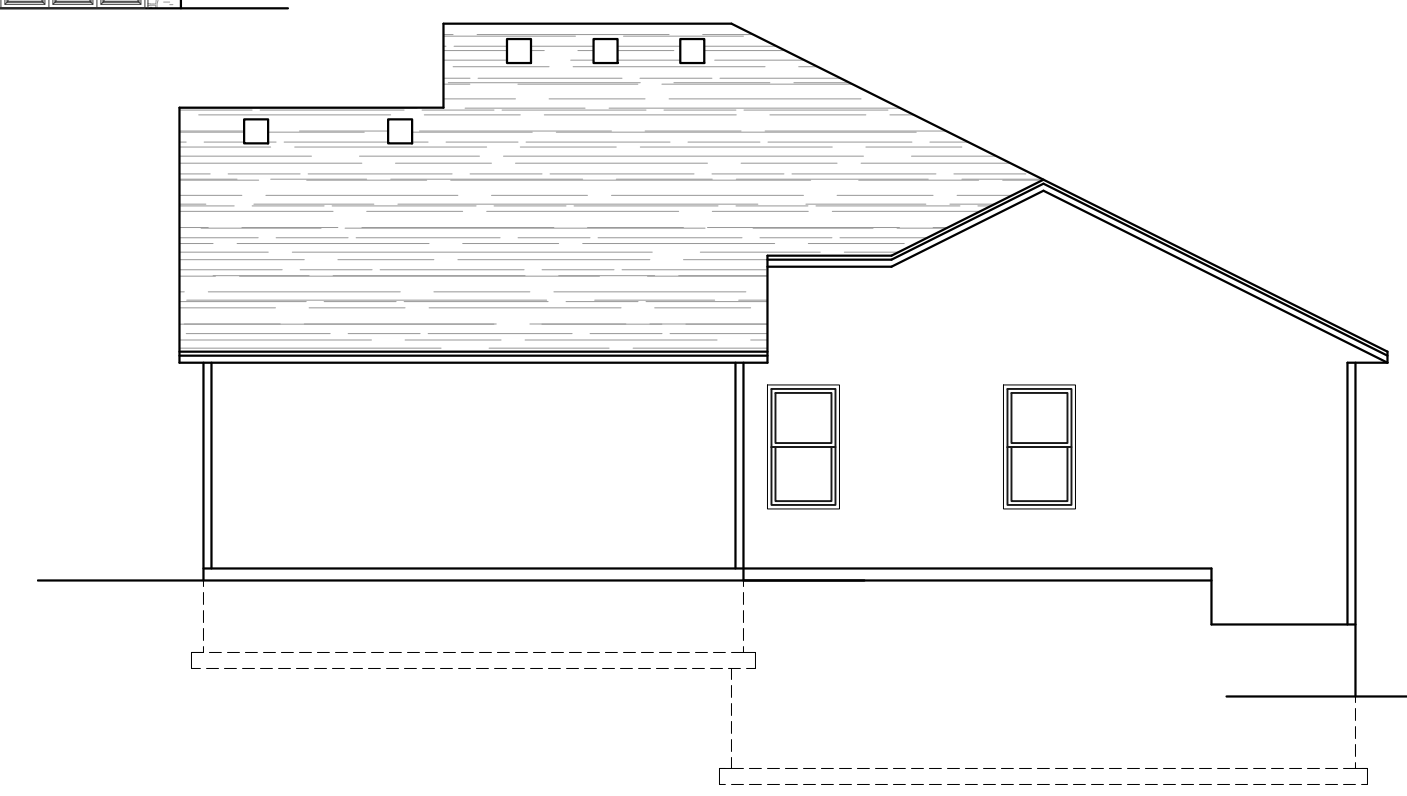
Fin Sq Ft:



MAIN LEVEL  
SCALE: 1/8" = 1'-0"



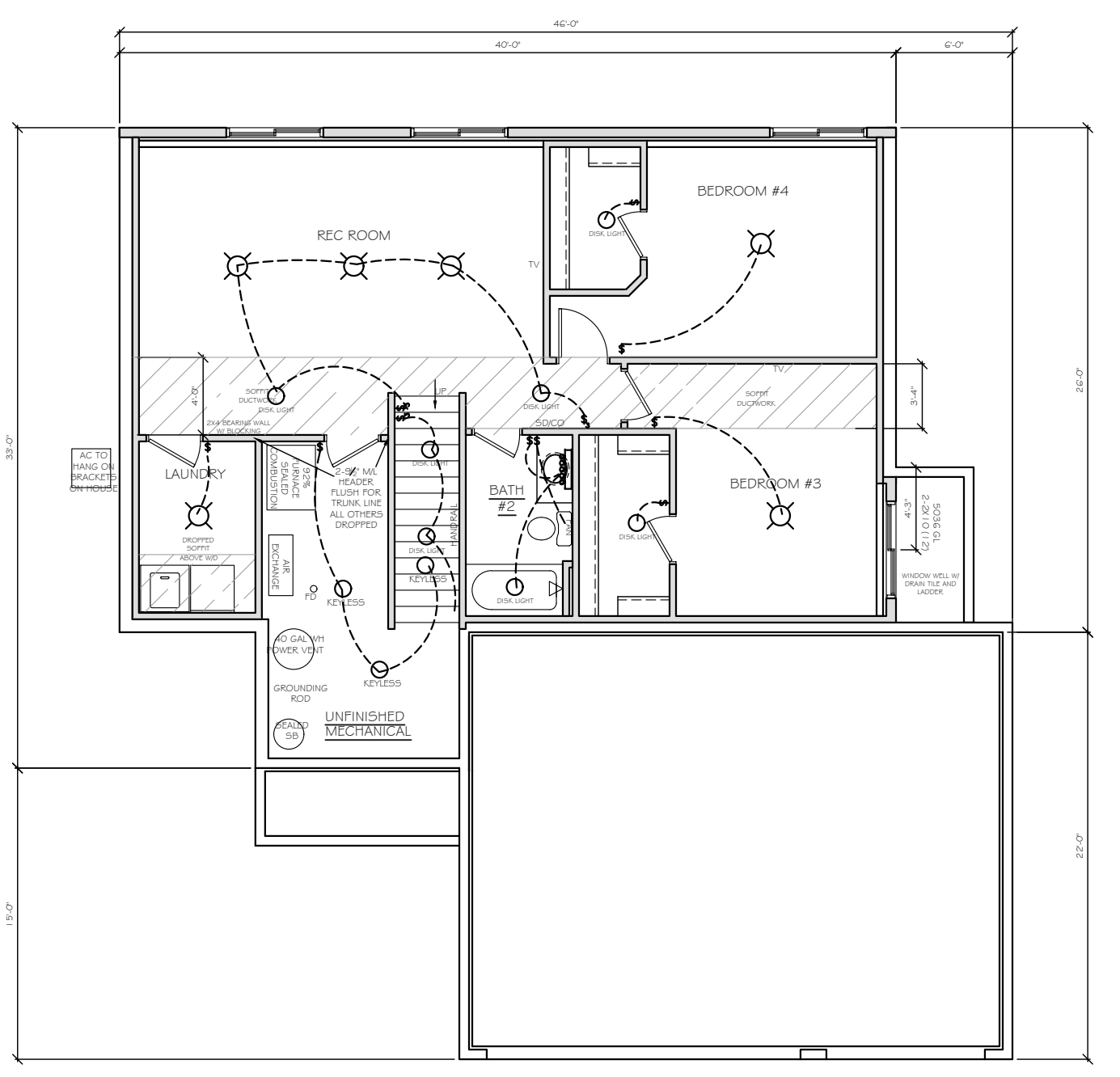
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



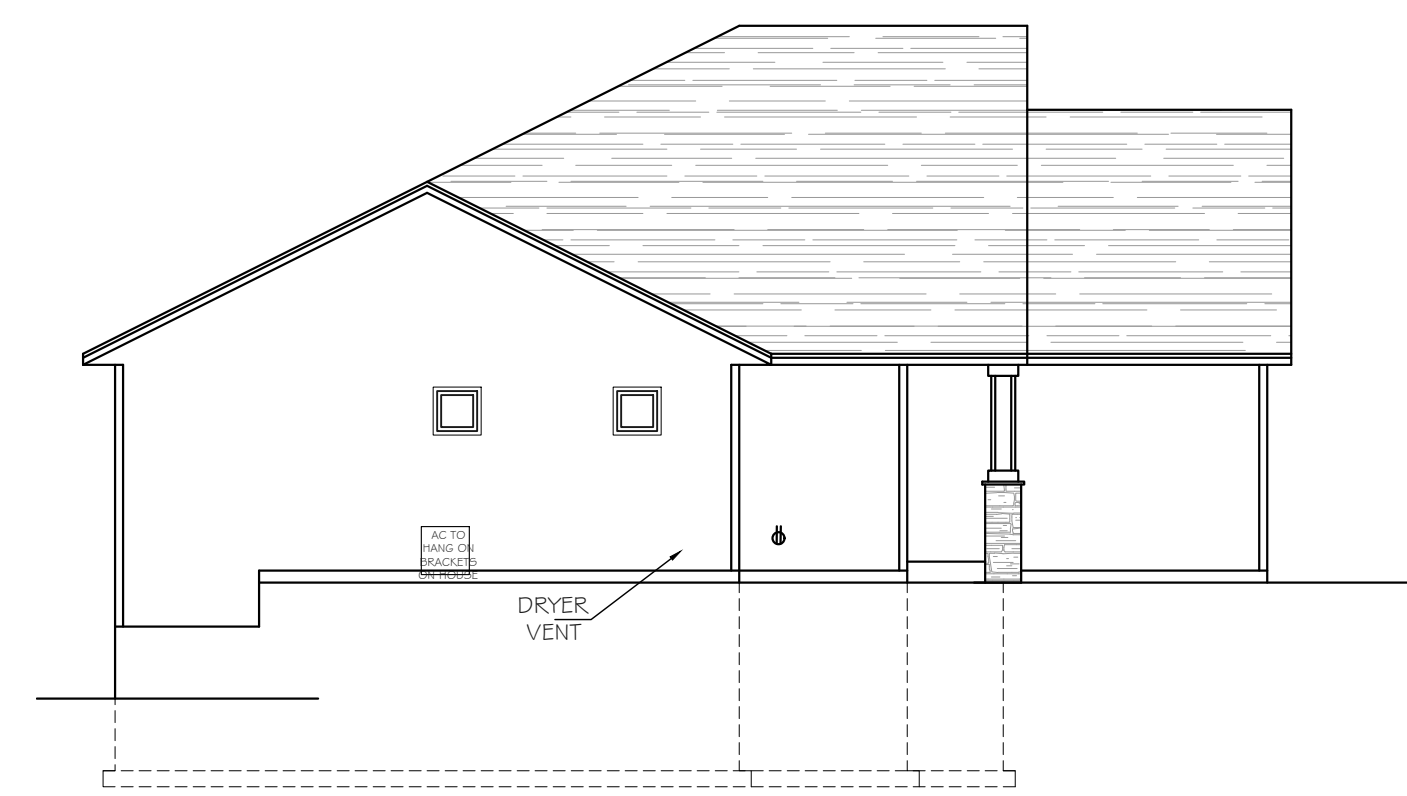
RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



LOWER LEVEL  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"