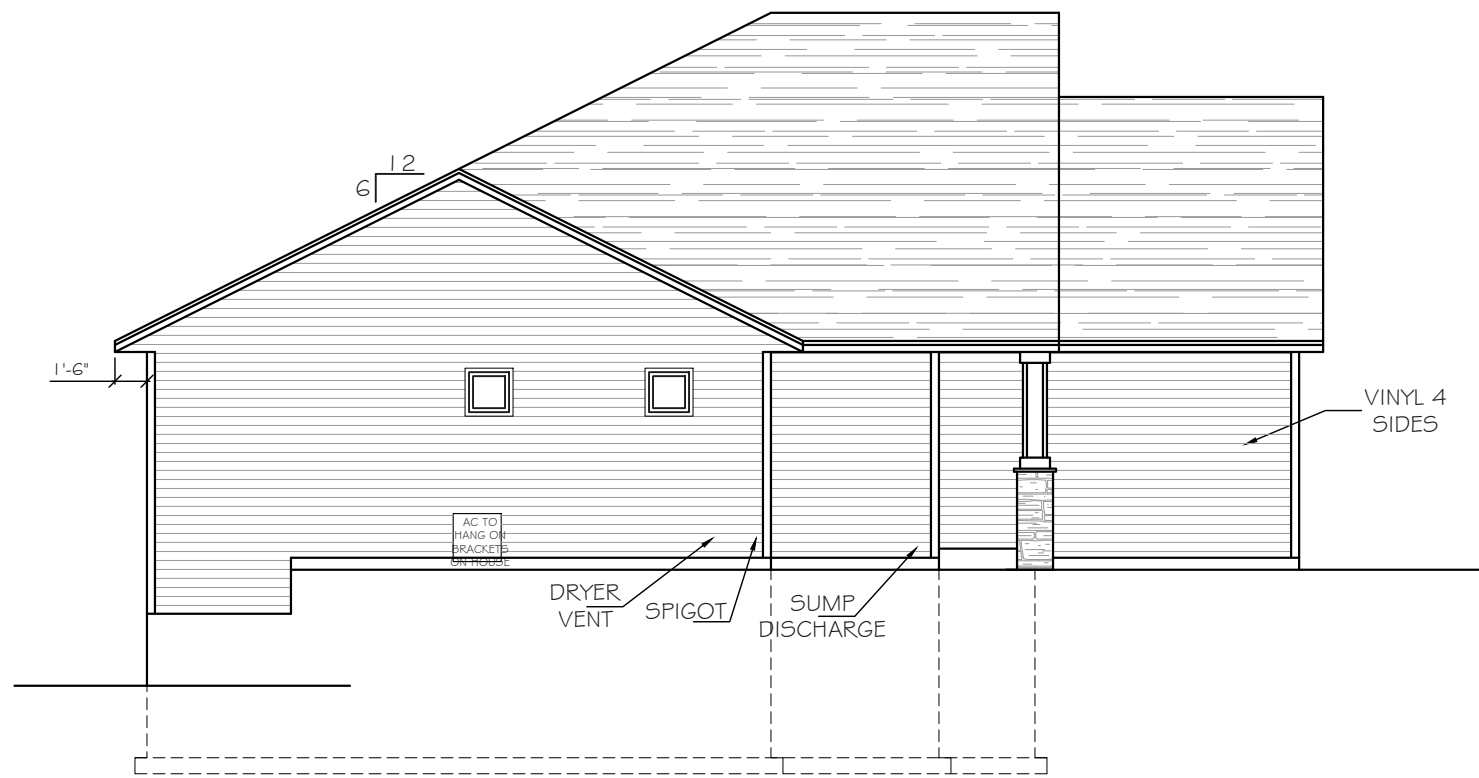


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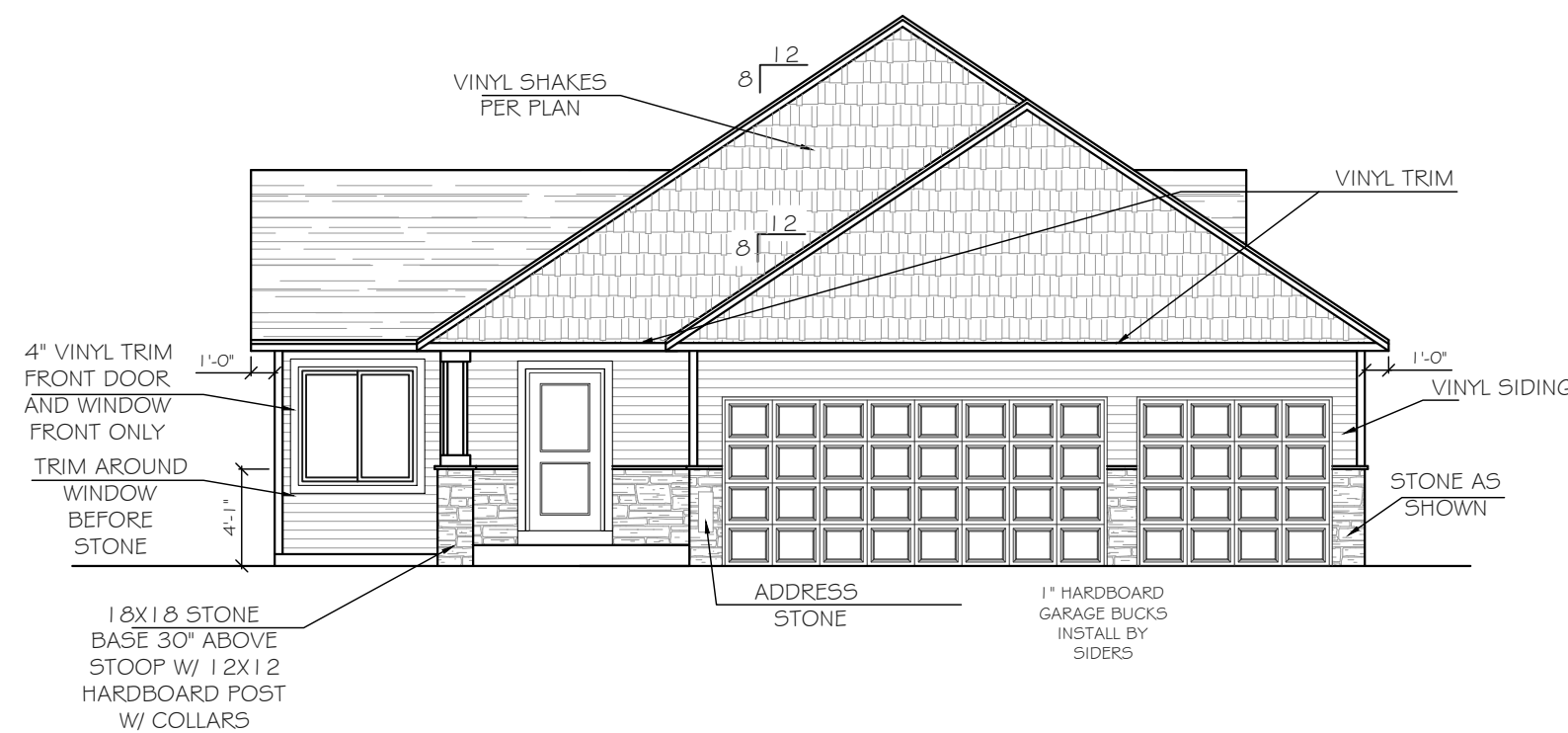
REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"

CLIENT:  
 Project:

LOCATION:  
 LOT \_ BLK\_ DEVELOPMENT

Street  
 CITY  
 MN ZIP  
 JOB #:

REVISION 1	11.29.23
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
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REVISION 9	
REVISION 10	
REVISION 11	
FINAL	11.29.23

All changes after above date will be done according to F.F.H. Change Order Policy

Homeowner Signature

Agent:

Plan: OAKWOOD

Total Foundation: 1786

House Foundation: 1117

Finished: 1117

Unfinished: 1117

Scale: 1/8" = 1'-0"

Fin Sq Ft: 1117

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MN LIC: BC631164  
WI LIC: DC-070800080

CLIENT:  
Project:

LOCATION:  
LOT \_ BLK\_ DEVELOPMENT

Street  
CITY  
MN ZIP  
JOB #:

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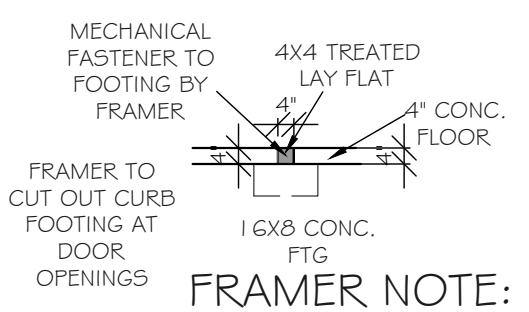
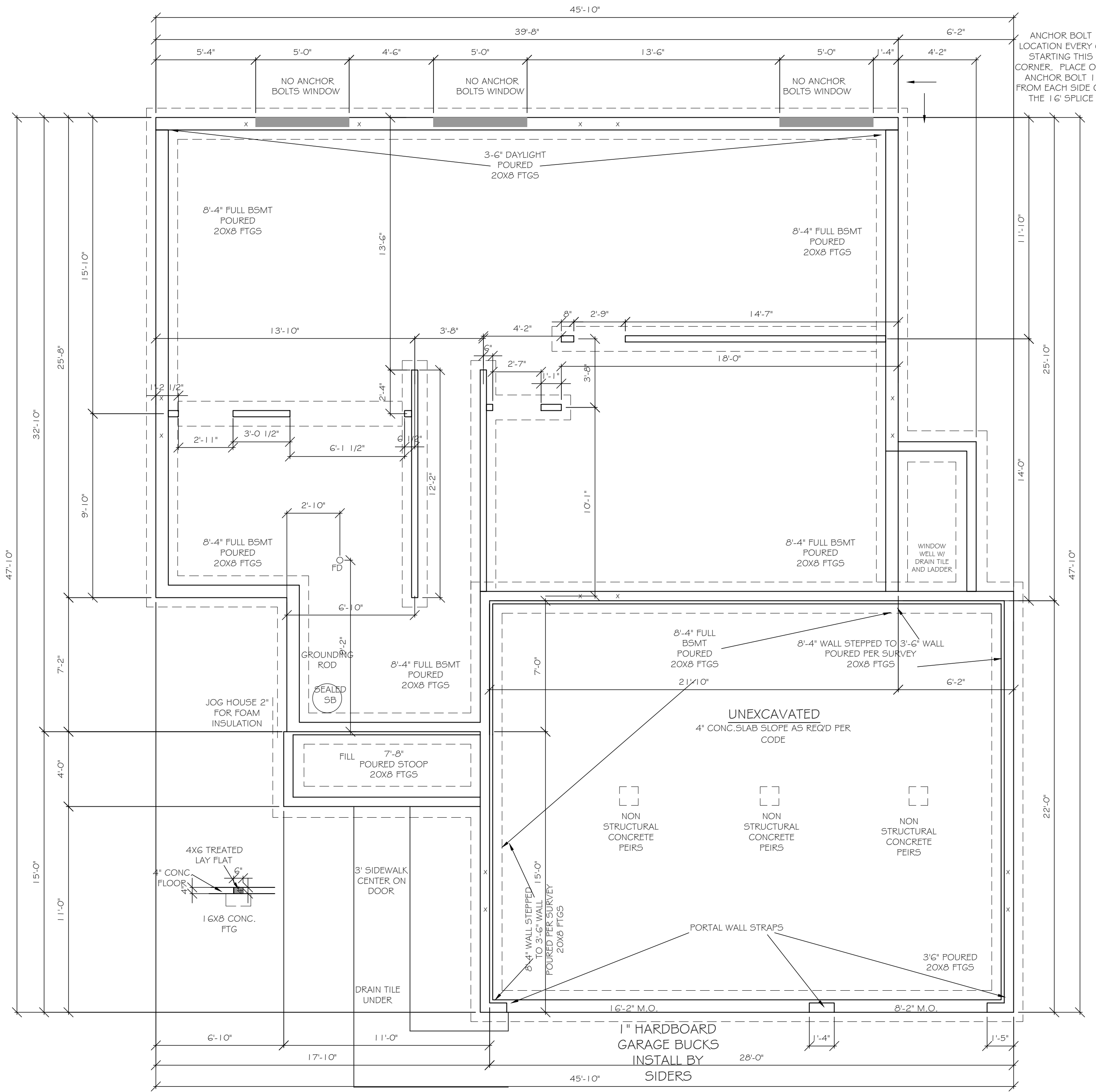
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Homeowner Signature

Agent:  
Plan: OAKWOOD  
Total Foundation: 1786  
House Foundation: 1117  
Finished: 1117  
Unfinished: 1117

Scale: 1/4" = 1'-0"

Fin Sq Ft:



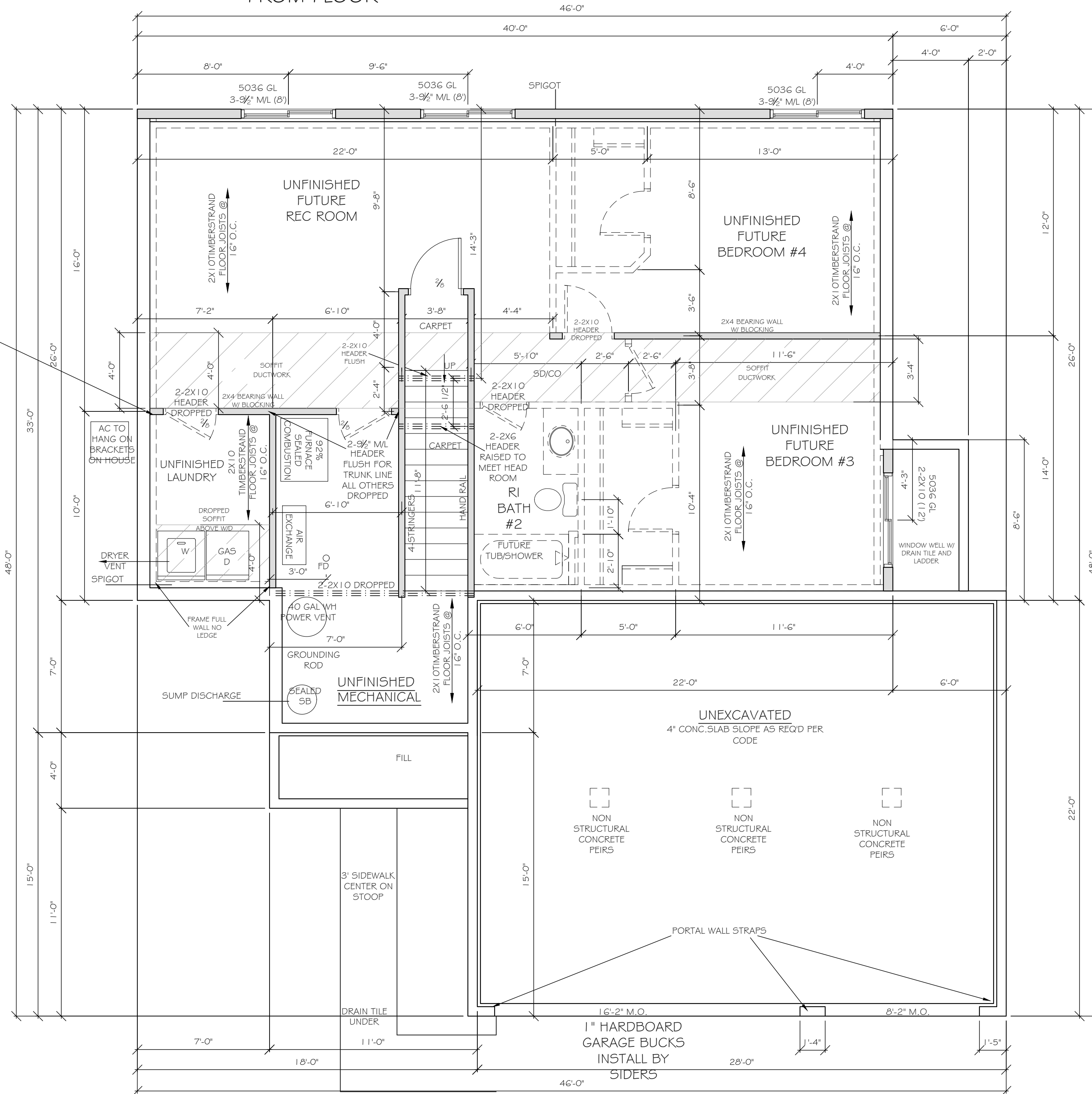
FRAMER NOTE:  
INTERIOR CURB DETAIL FOR 2X4 BEARING WALL

\*ANCHOR BOLTS PLACED ACCORDING TO IRC SECTION 404-R.404.1 (3) TABLE R404.1(1)

DOUBLES AT 16' PLATE SPLICES SO BOLT @ 15' & 17' (x x)  
ANCHOR BOLTS CENTER ON WALL WITH FOAM

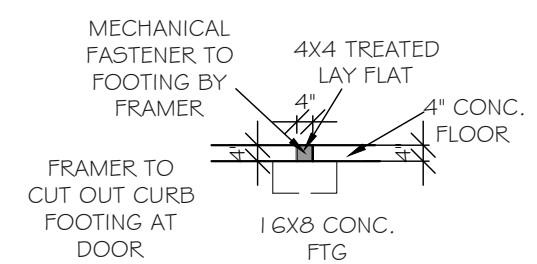
ANCHOR BOLTS 1 3/4" INSIDE FROM WALLS WITH NO FOAM

WINDOW INSTALL HEIGHT 83"  
FROM FLOOR



FRAMER NOTE: ALL BRIDGING AND HANGERS GLUED

FRAMER CURB FOOTING NOTE DETAIL



FRAMER NOTE: INTERIOR CURB DETAIL FOR 2X4 BEARING WALL

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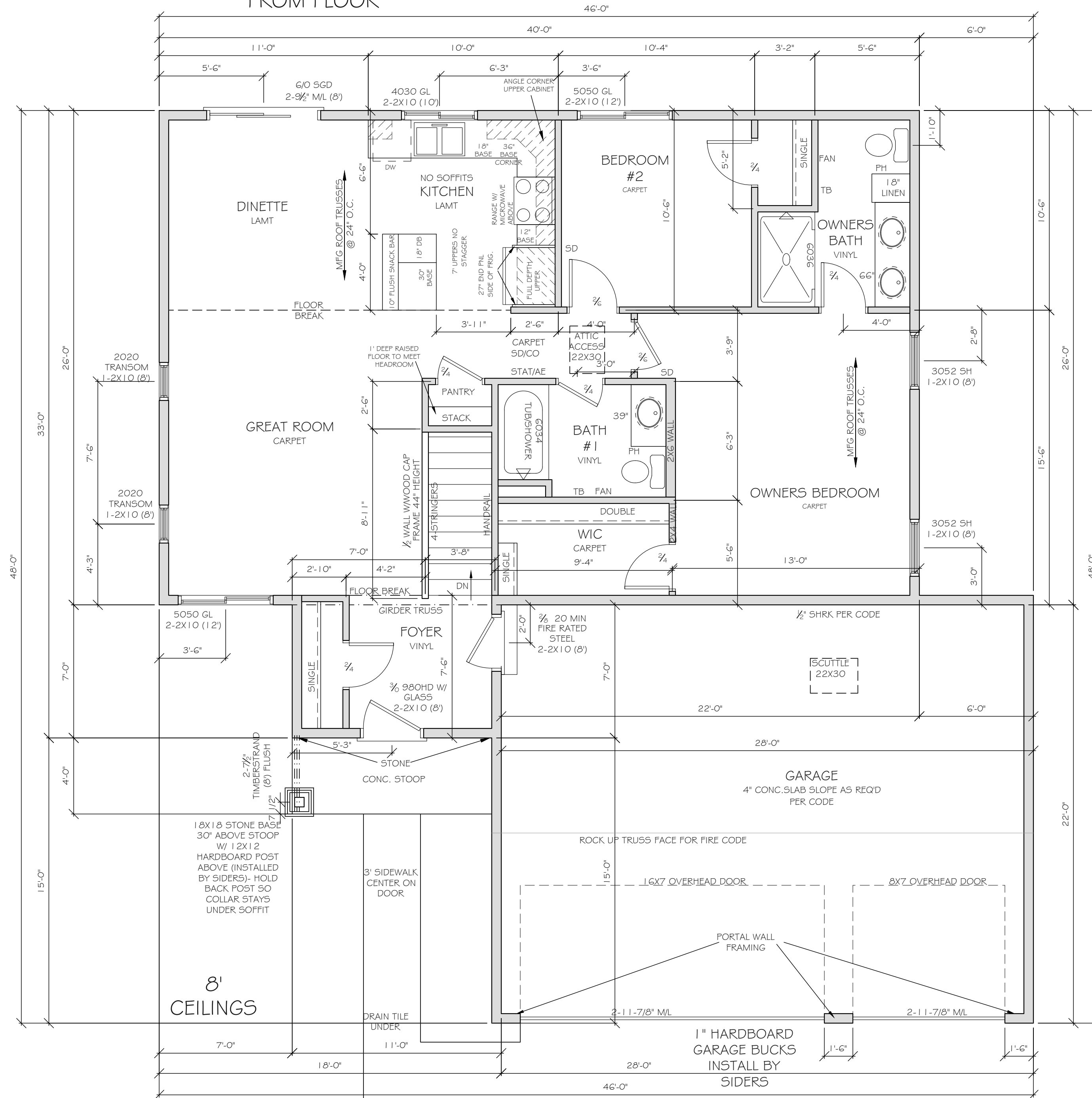
Homeowner Signature

Agent:  
Plan: OAKWOOD  
Total Foundation: 1786  
House Foundation: 1117  
Finished: 1117  
Unfinished: 1117

Scale: 1/4" = 1'-0"

Fin Sq Ft:

WINDOW INSTALL HEIGHT 83"  
FROM FLOOR



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Unfinished: 1117

Scale: 1/4" = 1'-0"  
Fin Sq Ft: 1117

ALL STRUCTURAL LUMBER  
 2X8 AND ABOVE WILL BE SPF NO. 2 AND BETTER  
 ALL 2X4 AND 2X6 STUDS WILL BE WESTERN  
 WHITES NO. 2 OR BETTER

WINDOWS ARE MAXIMUM OF .30  
 U-VALUE WITH MAXIMUM SHGC .29  
 WINDOW FALL PROTECTION PER  
 R312.2.1 AND R312.2.2  
 PATIO DOORS .30U AND .26 SHGC  
 ALL STEEL DOORS .19U

75% OF THE BULBS IN PERMANENTLY INSTALLED  
 LIGHT FIXTURES MUST BE HIGH EFFICACY. THIS  
 REQUIREMENT APPLIES TO INDOOR AND  
 OUTDOOR FIXTURES, INCLUDING ACCESSORY  
 STRUCTURES AND GARAGES. HIGH EFFICACY  
 BULBS ARE: 60 LUMENS/W FOR LAMPS OVER  
 40W; 50 LUMENS/W FOR LAMPS OVER 15W TO  
 40W; 40 LUMENS/W FOR LAMPS 15W OR LESS

R 404.1 LIGHTING EQUIPMENT  
 A MINIMUM OF 75 PERCENT OF THE LAMPS IN  
 PERMANENTLY INSTALLED LIGHTING FIXTURES  
 SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM  
 OF 75 PERCENT OF THE PERMANENTLY INSTALLED  
 LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH  
 EFFICACY LAMPS.

\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL  
 LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2012

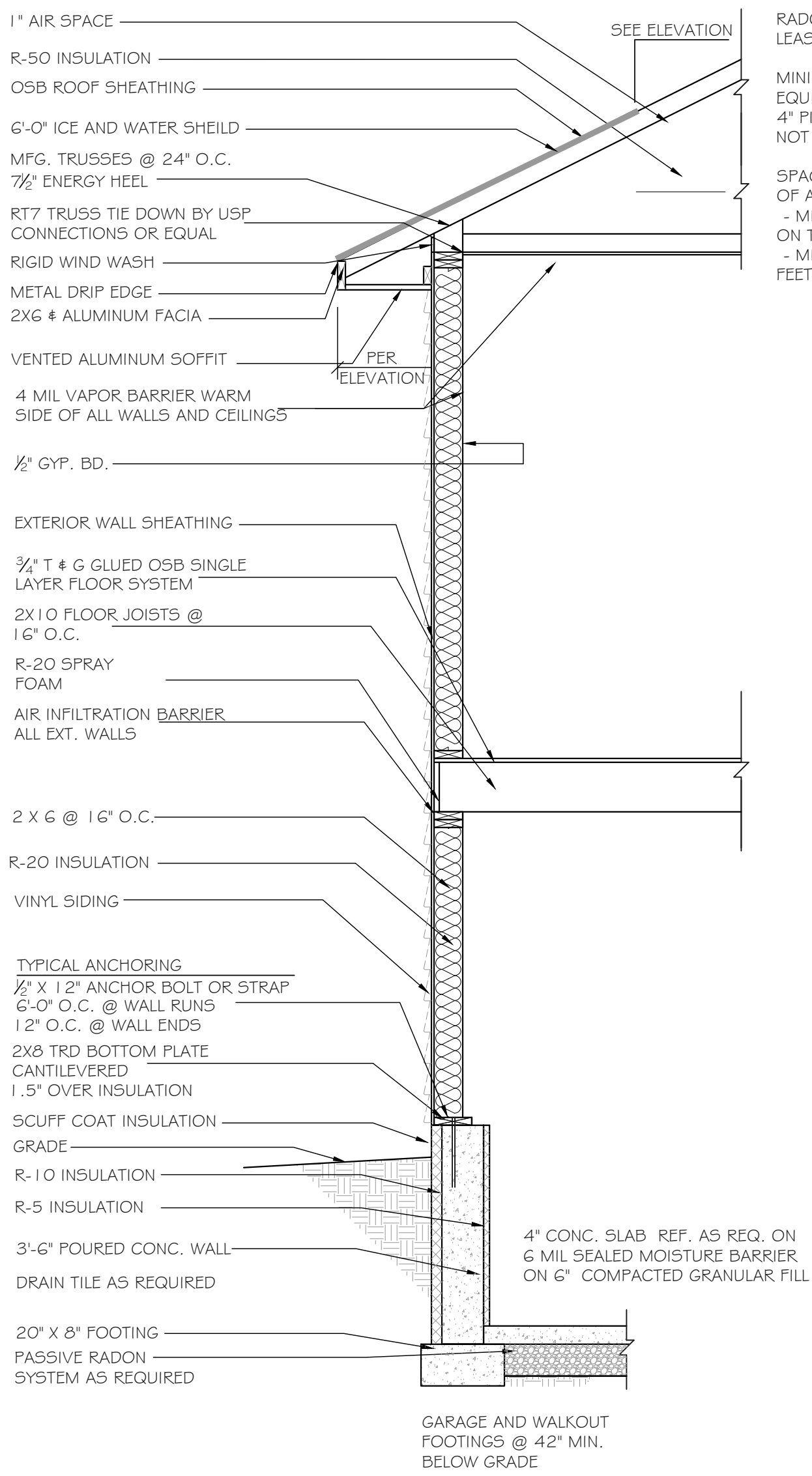
NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT  
 1/2 IN ROOF NEAR RIDGE  
 FLASH ABOVE ALL EXTERIOR OPENINGS  
 SHINGLES PER ELEVATION/SPECS.  
 15# FELT  
 1/2" ROOF SHEATHING

\*\*NOTE: WATERPROOFING IS THE WATCHDOG METHOD PERFORMED BY  
 INSTALLED BUILDING SOLUTIONS. NON DRAINING BOARD INSULATION  
 W/ 6 MIL POLY SLIP SHEETHING OVER TOP. ANY QUESTIONS  
 REGARDING THIS TYPE OF WATERPROOFING SYSTEM SHOULD BE  
 DIRECTED TO BRET JUENKE #651-463-9333

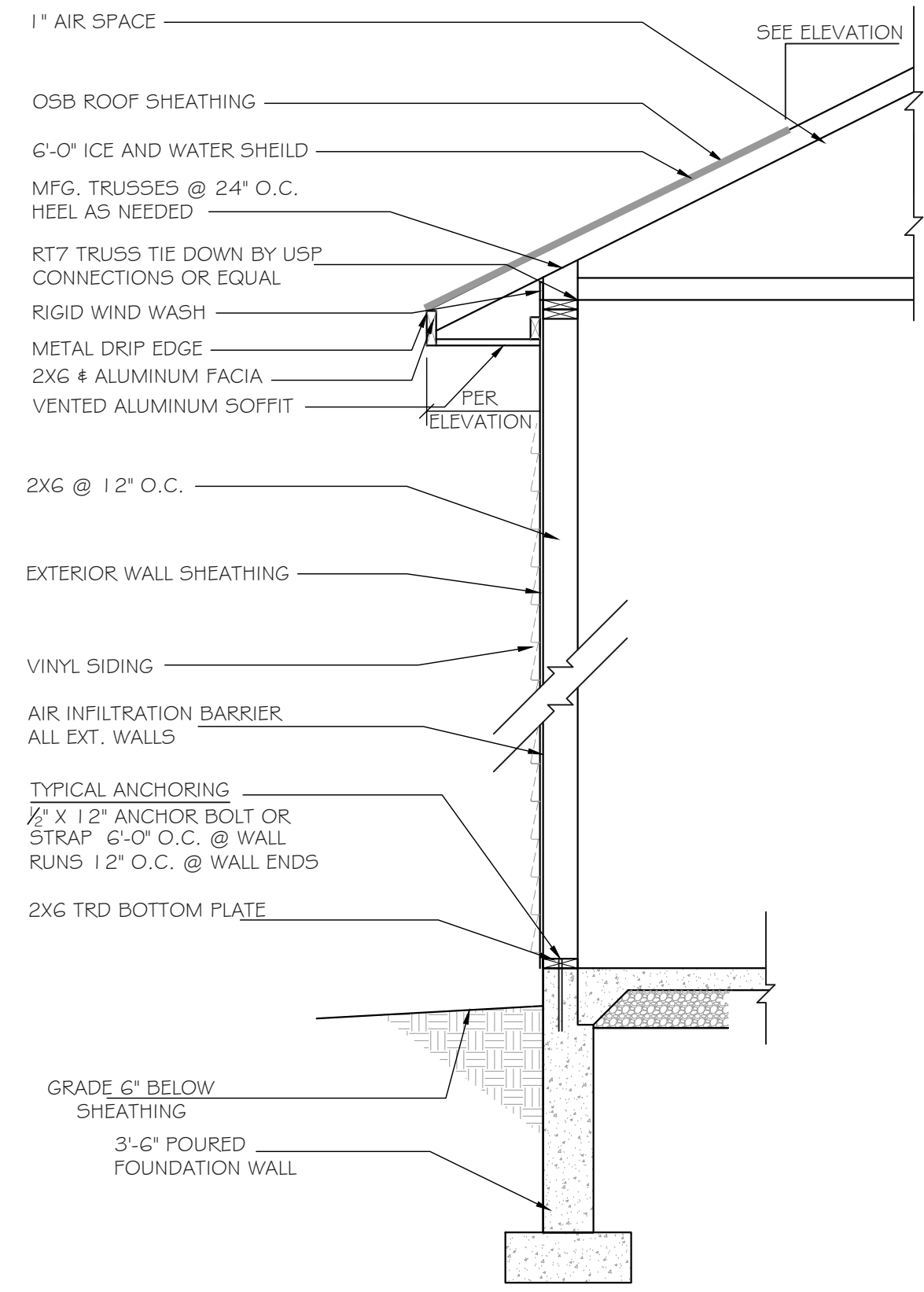
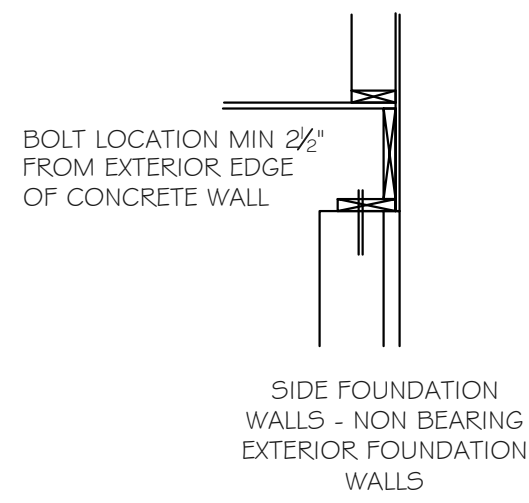
\*\*NOTE: APPROVED VAPOR RETARDER WITH JOINTS  
 LAPPED NOT LESS THAN 6" BELOW CONCRETE SLAB

\*\*NOTE: WALL CONSTRUCTED CAPABLE OF ACCOMADATING ALL  
 LOADS IMPOSED MEETING THE REQUIREMENTS OF IRC 2020

NOTE: VENT 1/300TH ROOF 1/2 IN SOFFIT  
 1/2 IN ROOF NEAR RIDGE  
 FLASH ABOVE ALL EXTERIOR OPENINGS  
 SHINGLES PER ELEVATION/SPECS.  
 15# FELT  
 1/2" ROOF SHEATHING



RADON VENT PIPE TERMINATED AT LEAST 12" ABOVE SURFACE OF ROOF  
 MINIMUM 3" ABS OR PVC OR EQUIVALENT GAS TIGHT PIPE 4" PIPE MAY BE MORE EFFECTIVE, BUT NOT REQUIRED  
 SPACE PROVIDED FOR INSTALLATION OF A FAN  
 - MINIMUM 24" DIAMETER CENTERED ON THE AXIS OF THE VENT STACK  
 - MINIMUM VERTICAL DISTANCE OF 3 FEET



DAYLIGHT WALL

EXTERIOR GARAGE WALL

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 WI LIC: DC-070800080

CLIENT:  
 Project:

LOCATION:  
 LOT\_BLK\_DEVELOPMENT

Street  
 CITY  
 MN ZIP  
 JOB #:

REVISION 1	11.29.23
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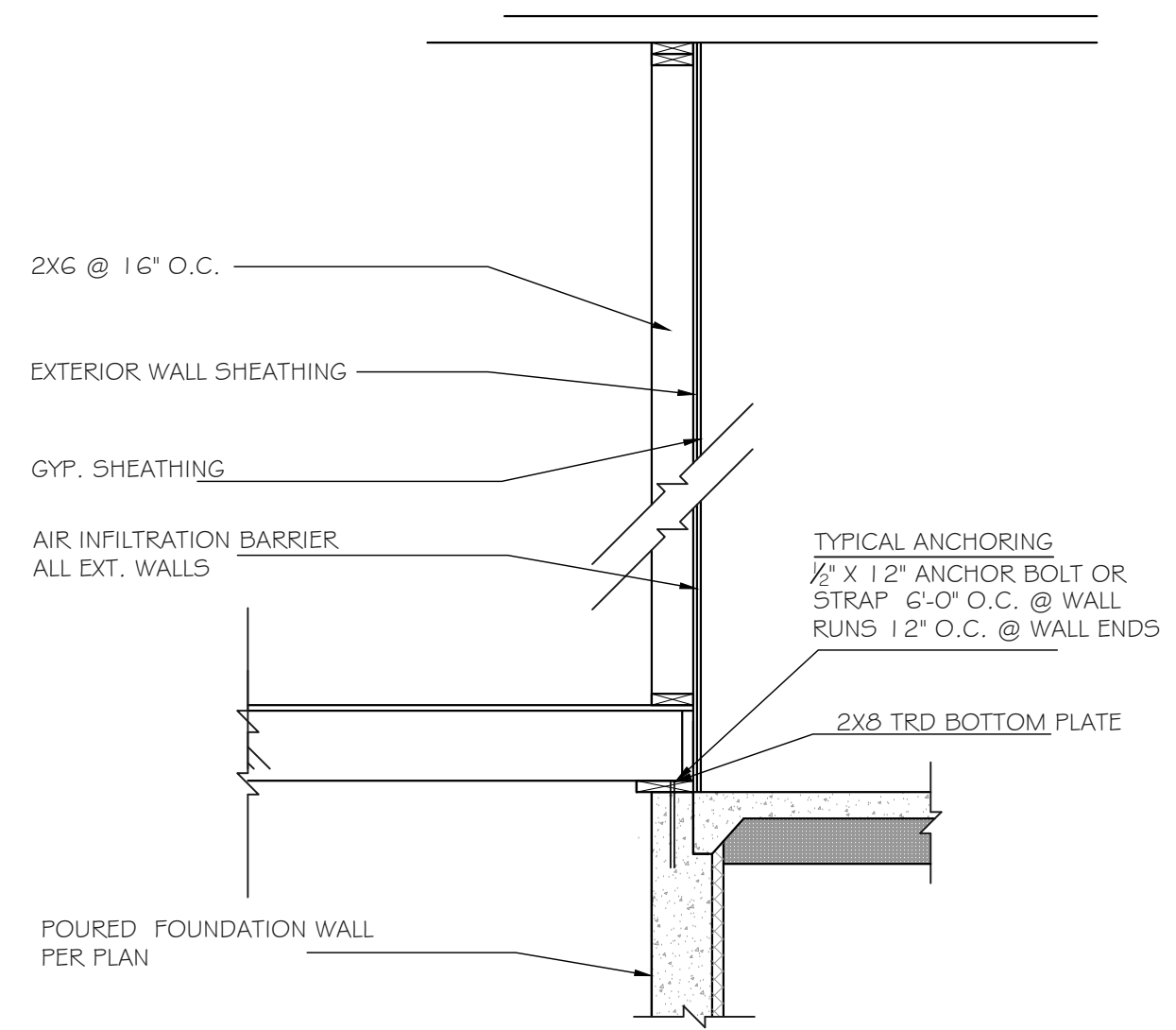
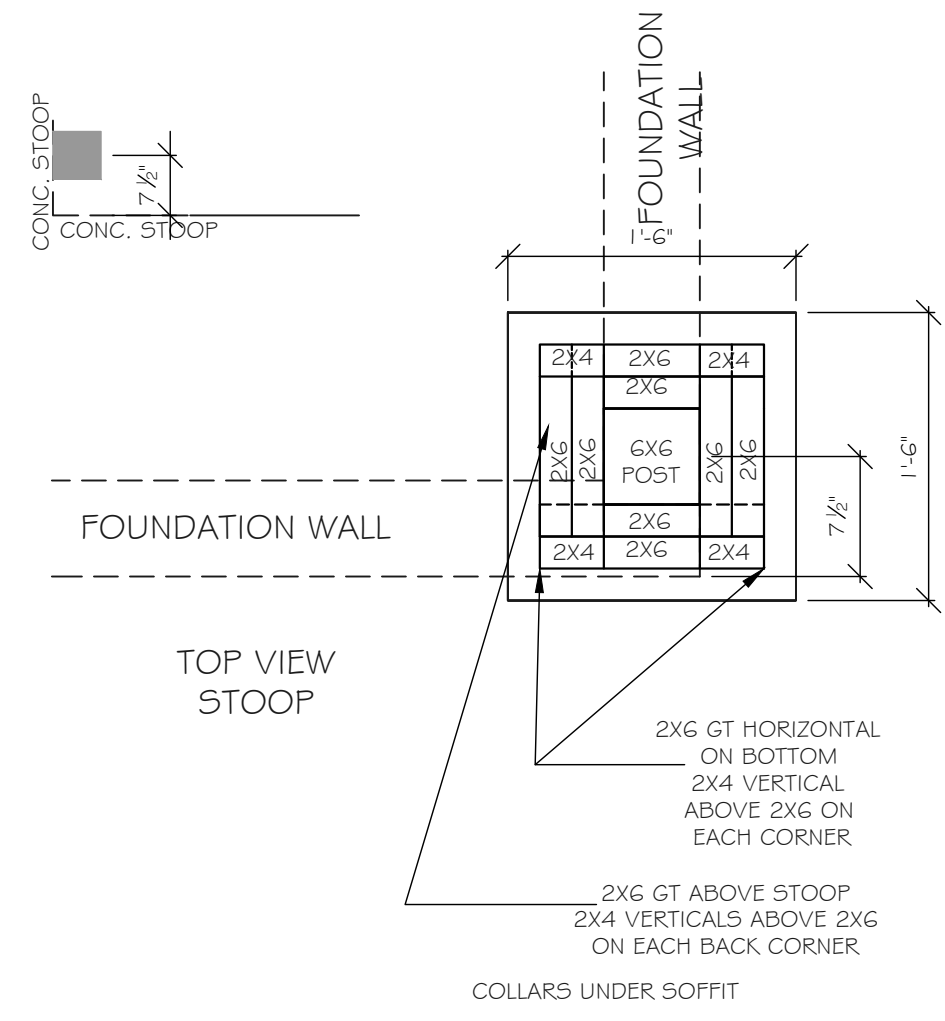
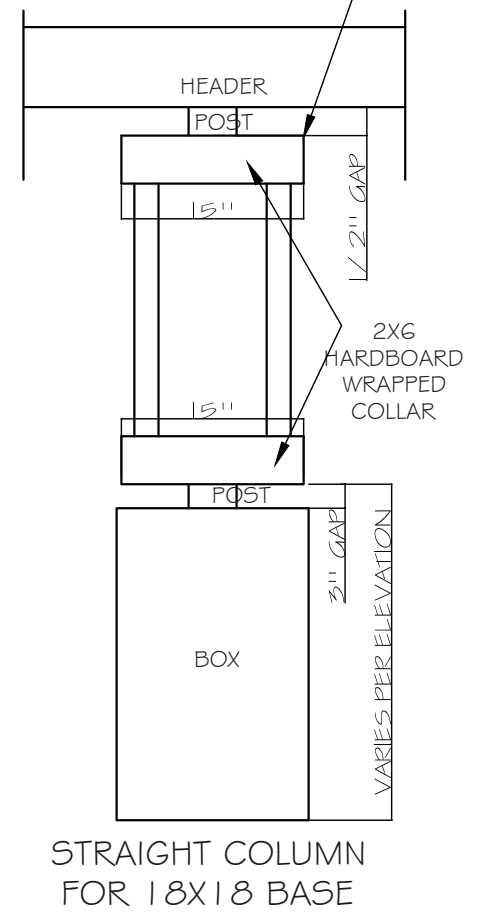
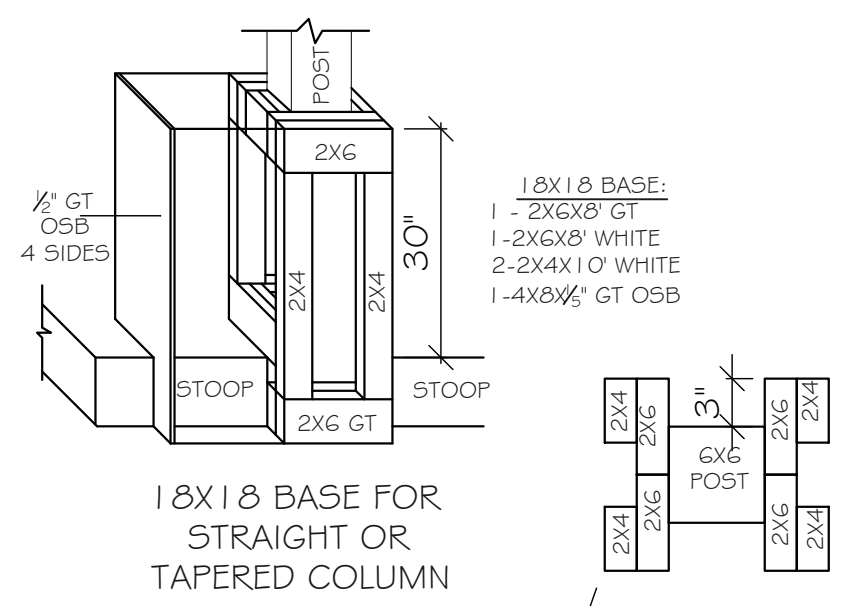
Homeowner Signature

Agent:  
 Plan: OAKWOOD  
 Total Foundation: 1786  
 House Foundation: 1117  
 Finished: 1117  
 Unfinished: 1117

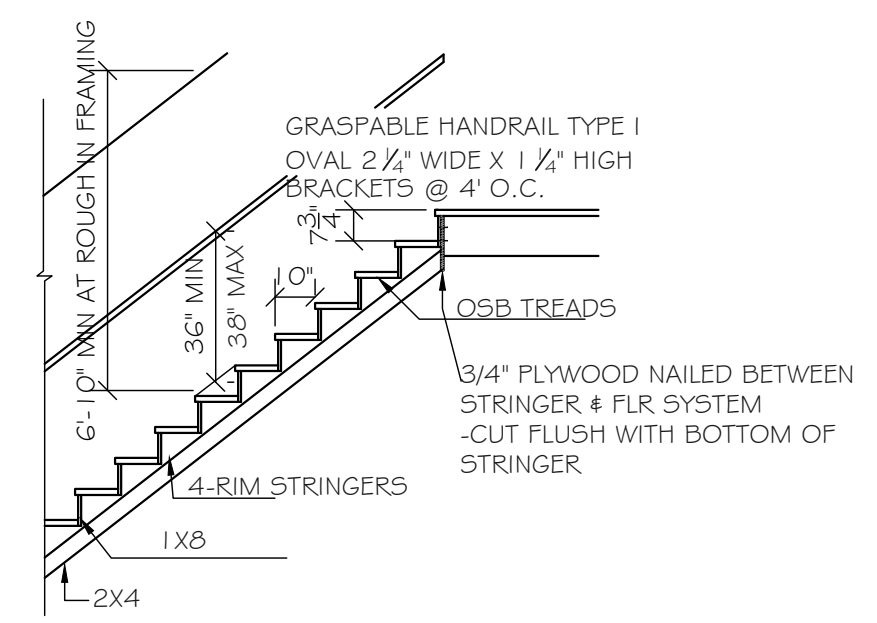
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Fin Sq Ft:

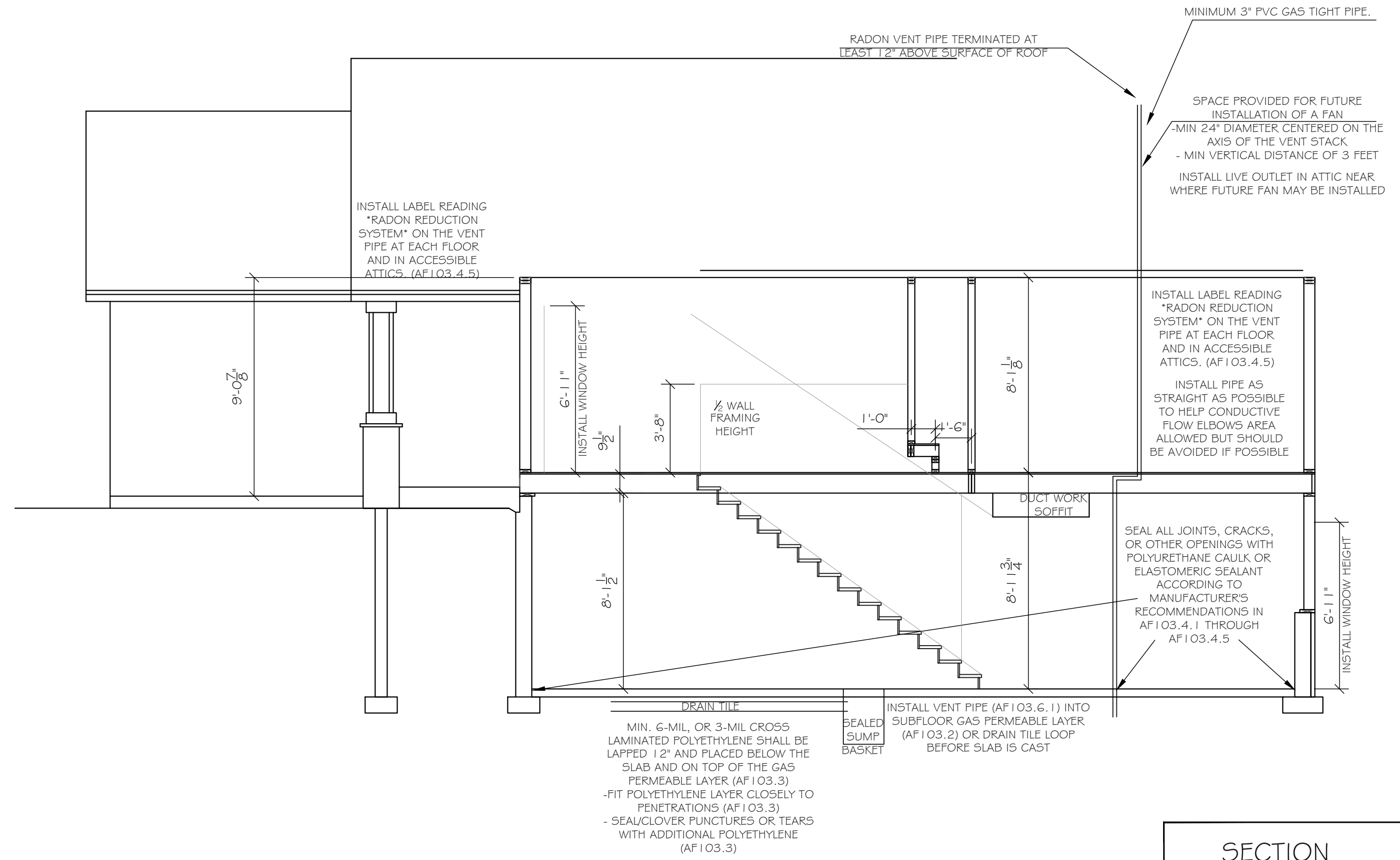
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 WI LIC: DC-070800080



# GARAGE COMMON WALL



## INTERIOR STAIR DETAIL



CLIENT:  
 Project:

LOCATION:  
 LOT \_ BLK\_ DEVELOPMENT

Street  
 CITY  
 MN ZIP  
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REVISION 1	11.29.23
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Homeowner Signature

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Scale: 1/4" = 1'-0"

Fin Sq Ft:



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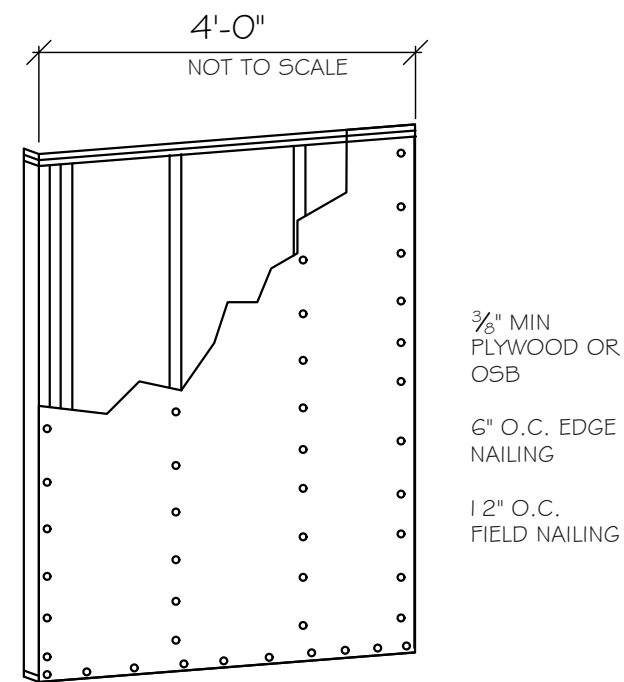
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Homeowner Signature

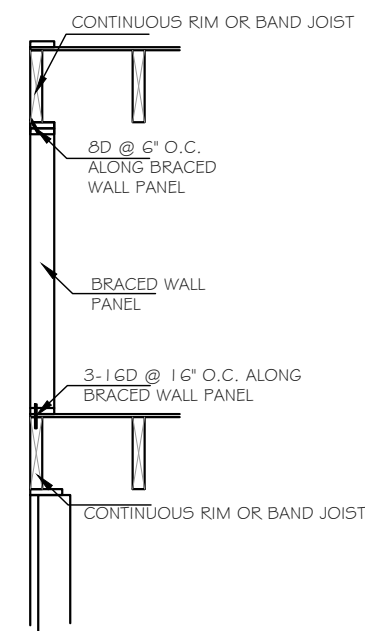
Agent:  
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 Total Foundation: 1786  
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Scale: 1/4" = 1'-0"

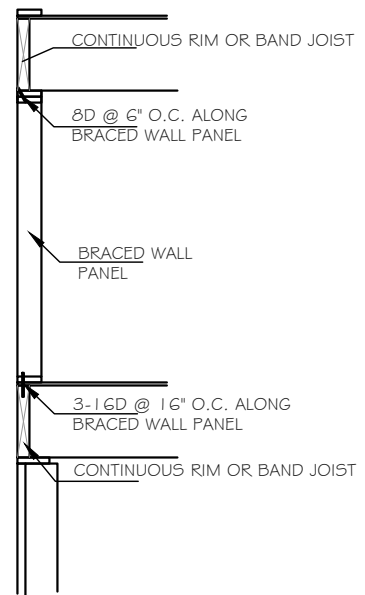
Fin Sq Ft:



BRACE WALL PANELS: CS WSP  
 NOT TO SCALE

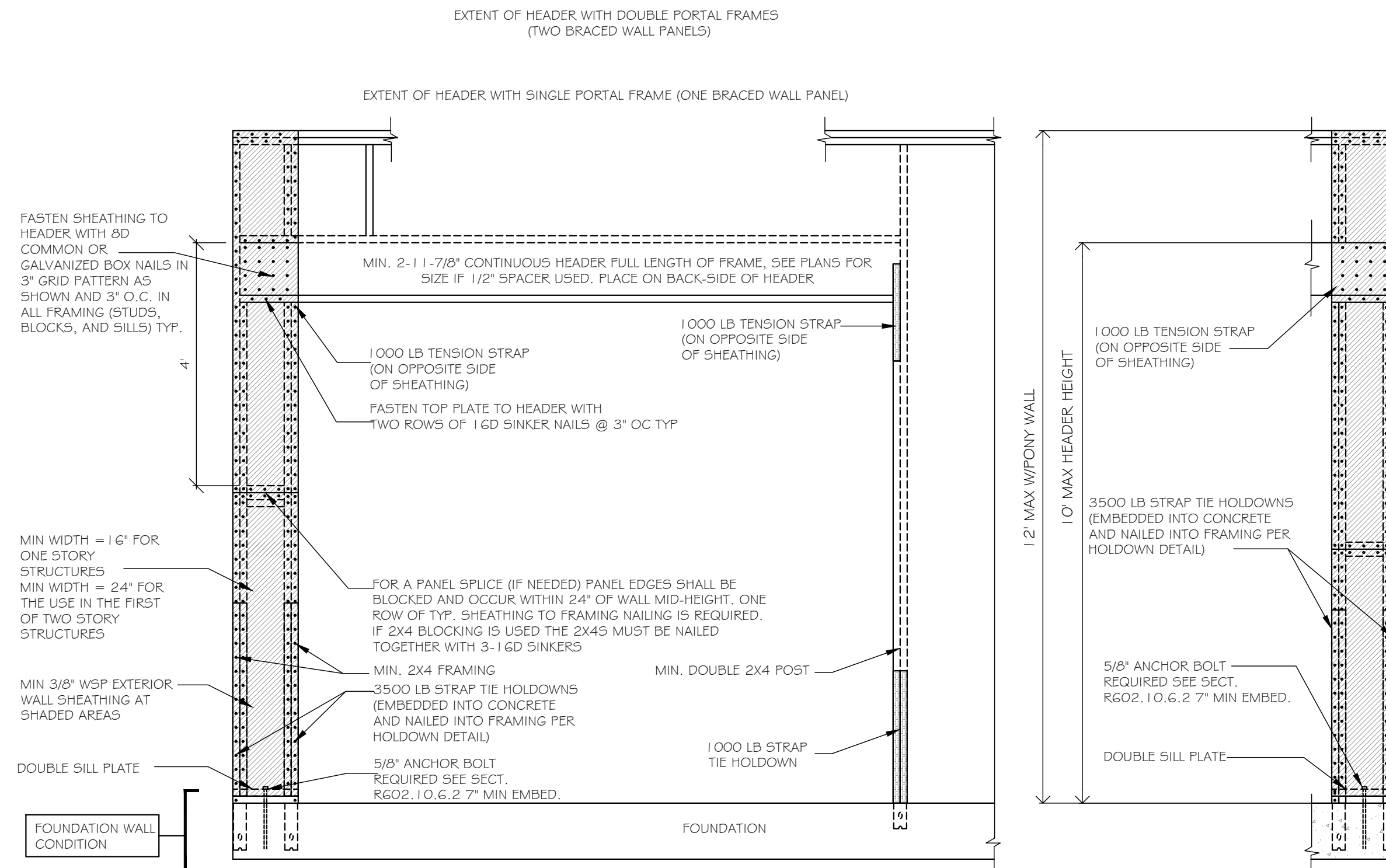


PARALLEL FRAMING

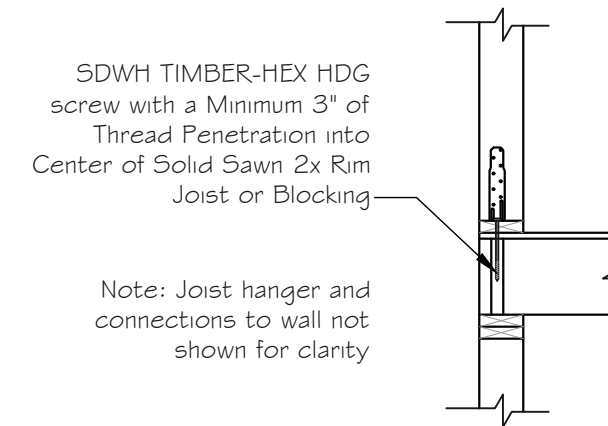


PERPENDICULAR FRAMING

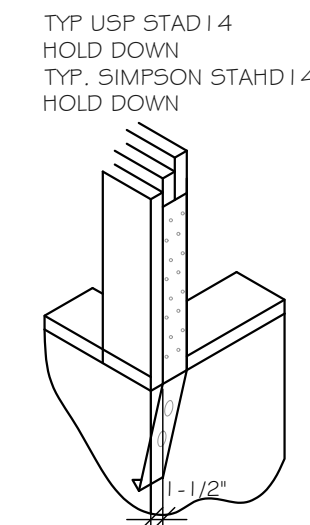
— = BRACED WALL PANEL



PORTAL WALL FRAMING DETAIL FOR GARAGE



DTT I Z HOLD DOWN FOR WIND BRACING



GARAGE PIER HOLD DOWN DETAIL

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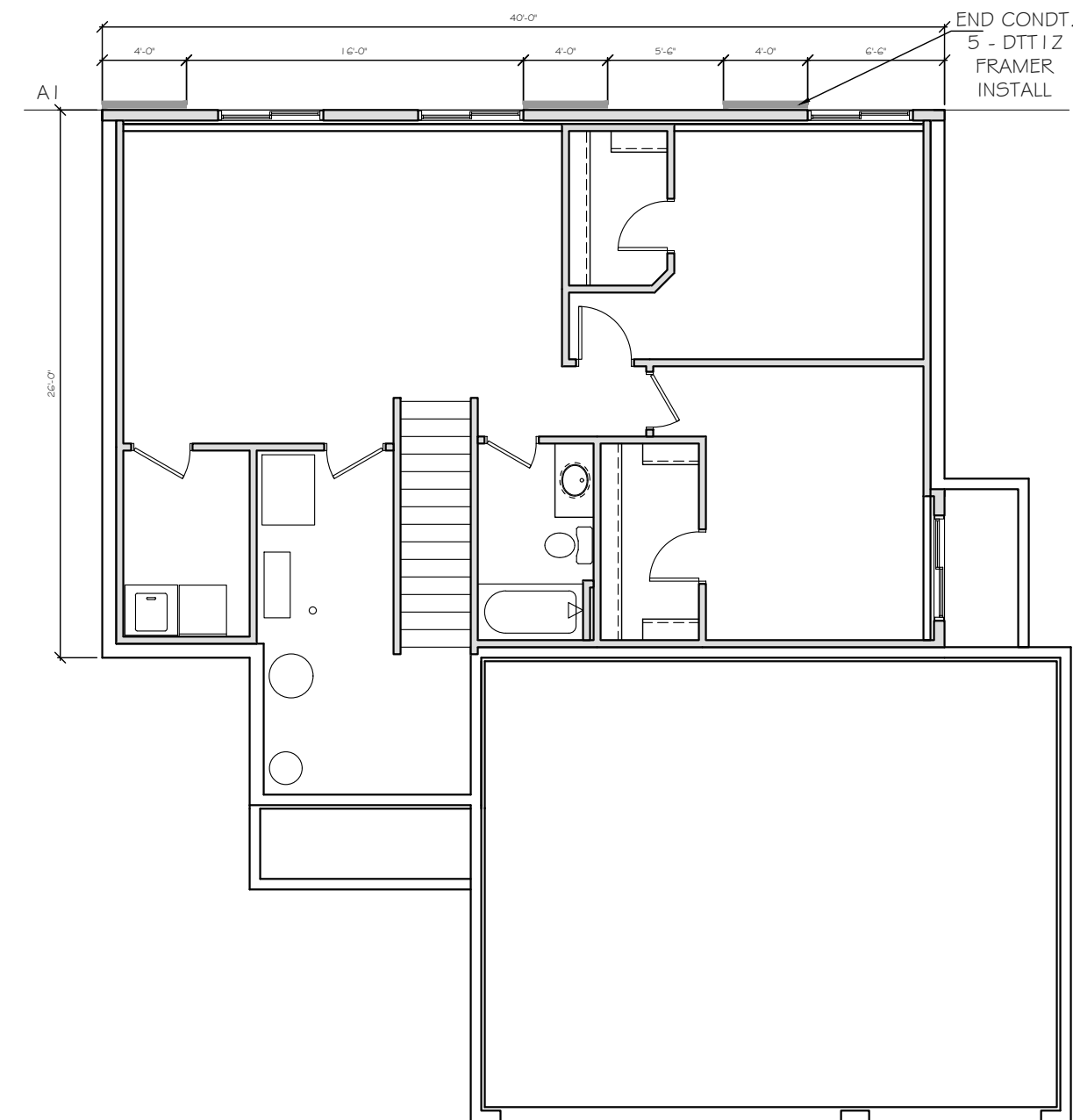
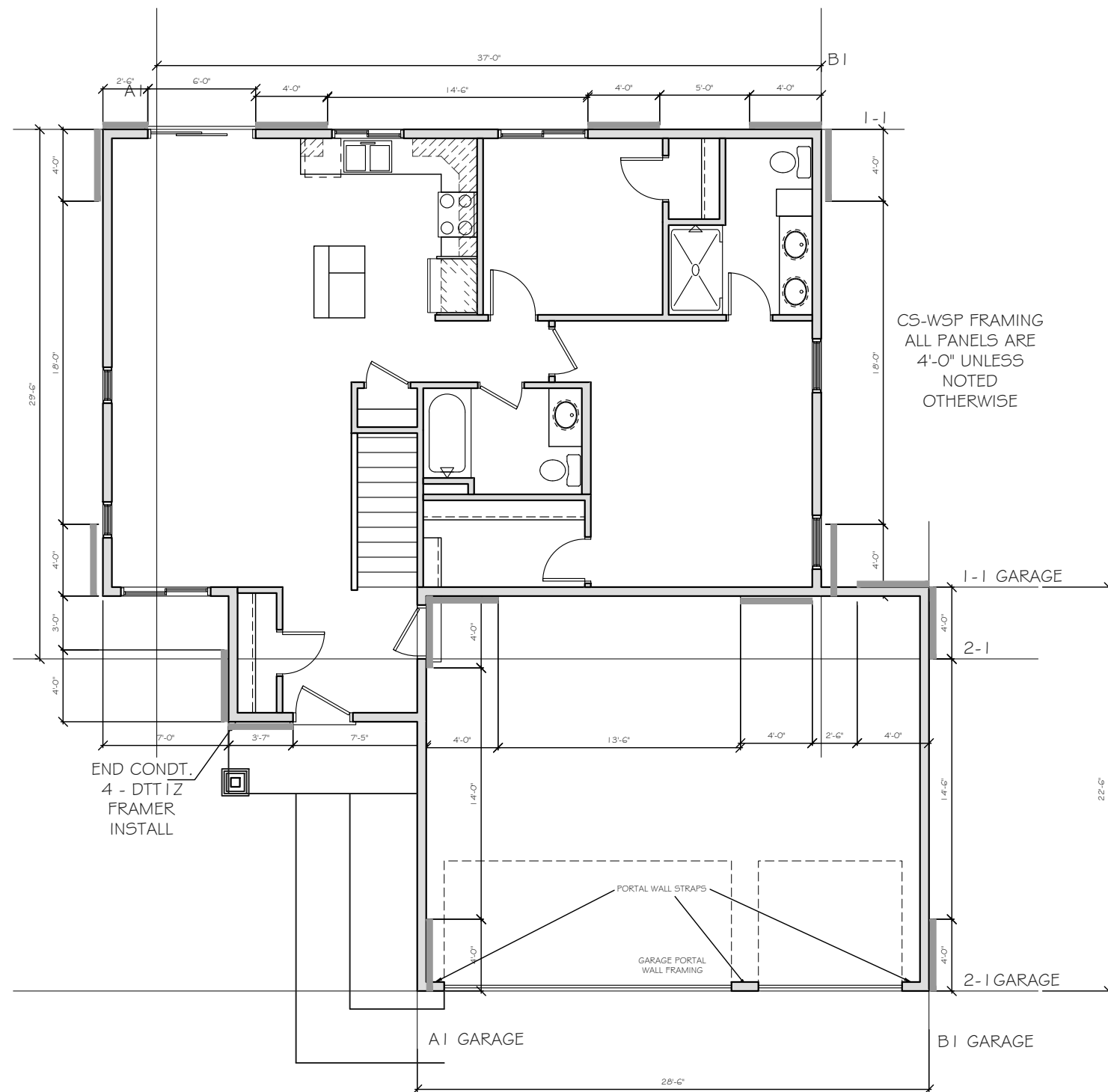
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Homeowner  
Signature

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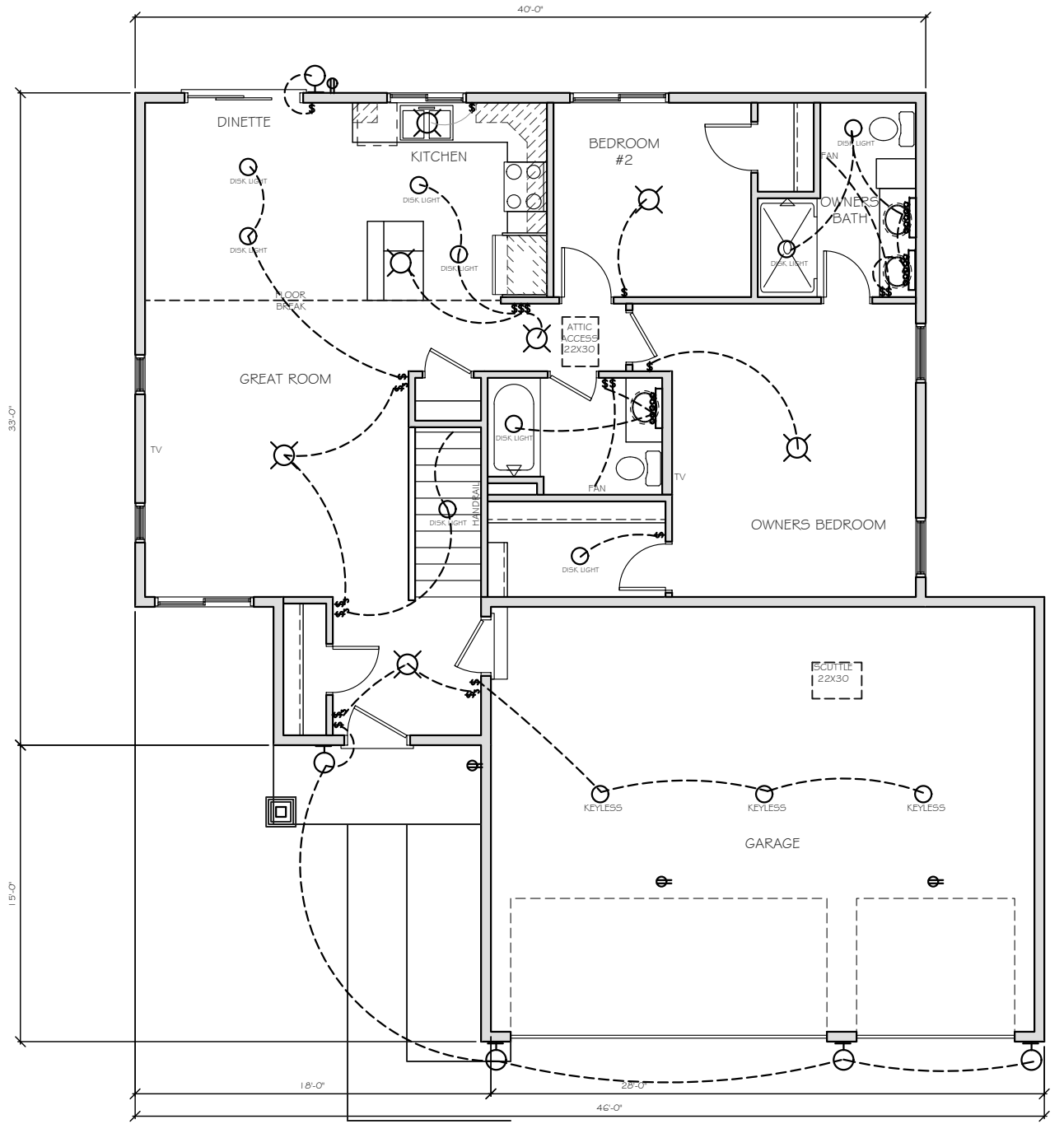
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Fin Sq Ft:





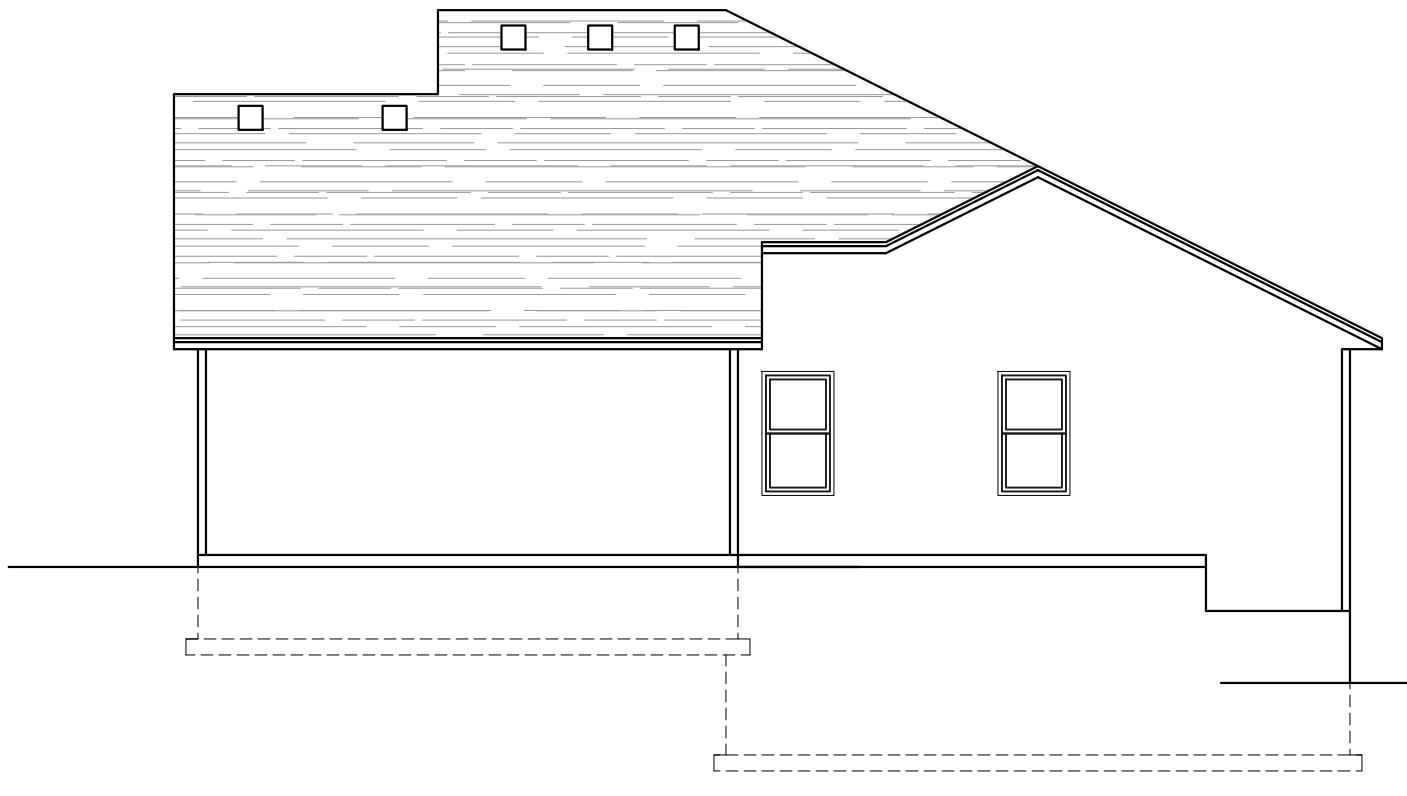
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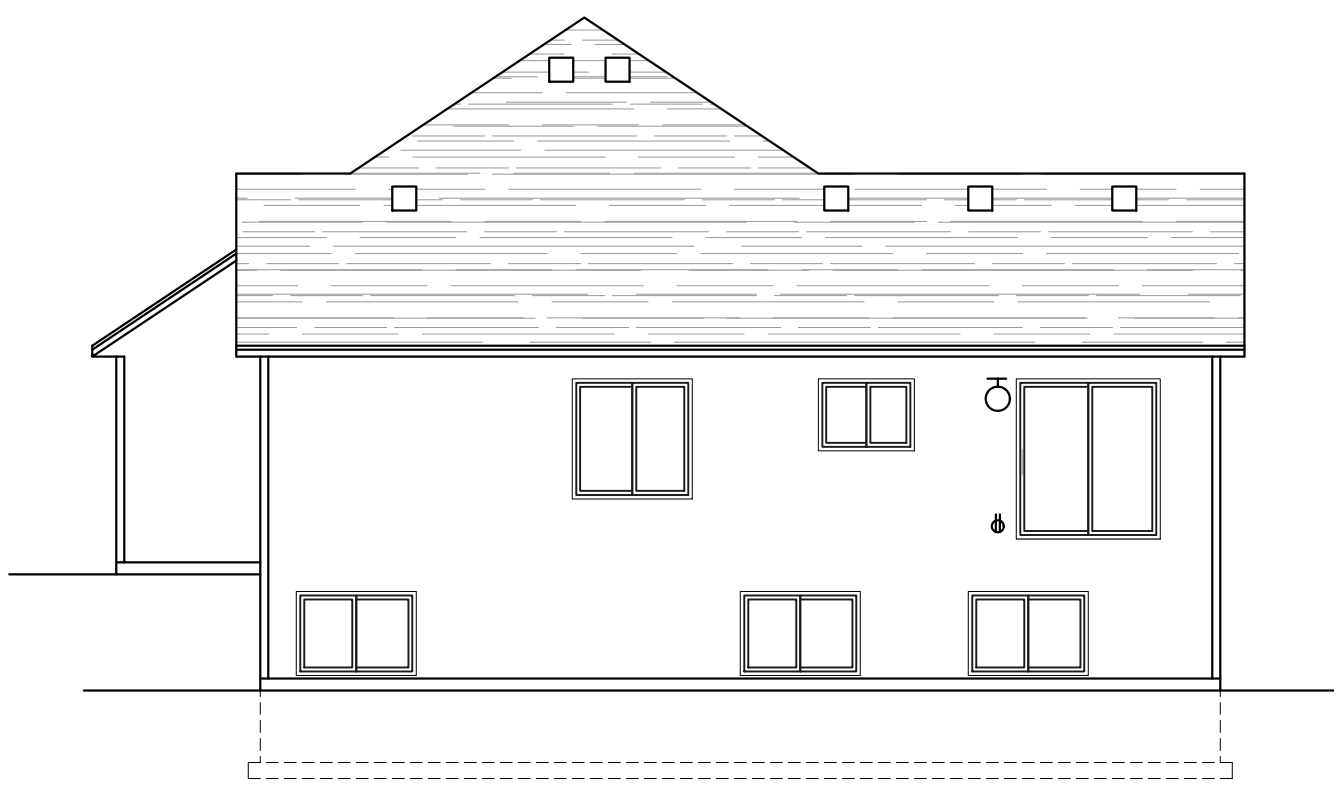
MAIN LEVEL  
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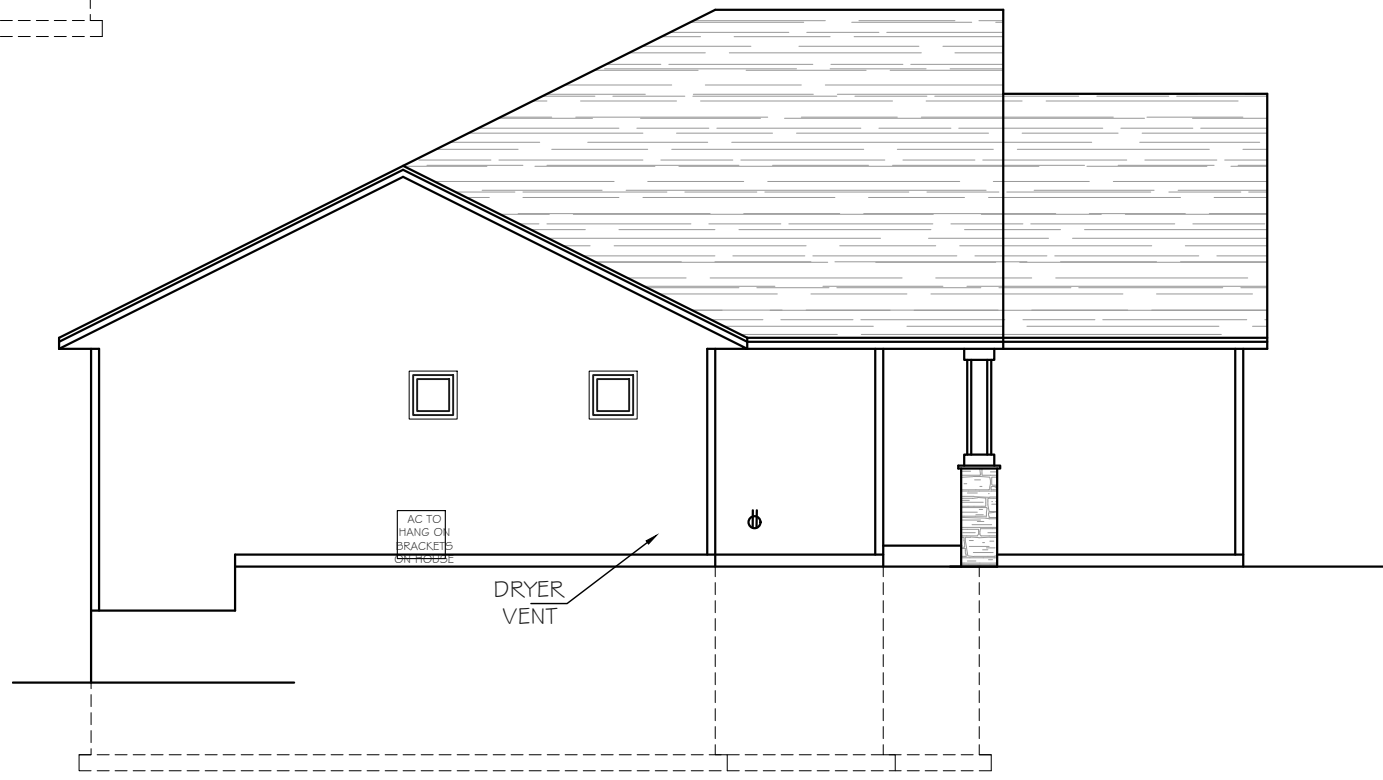
FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



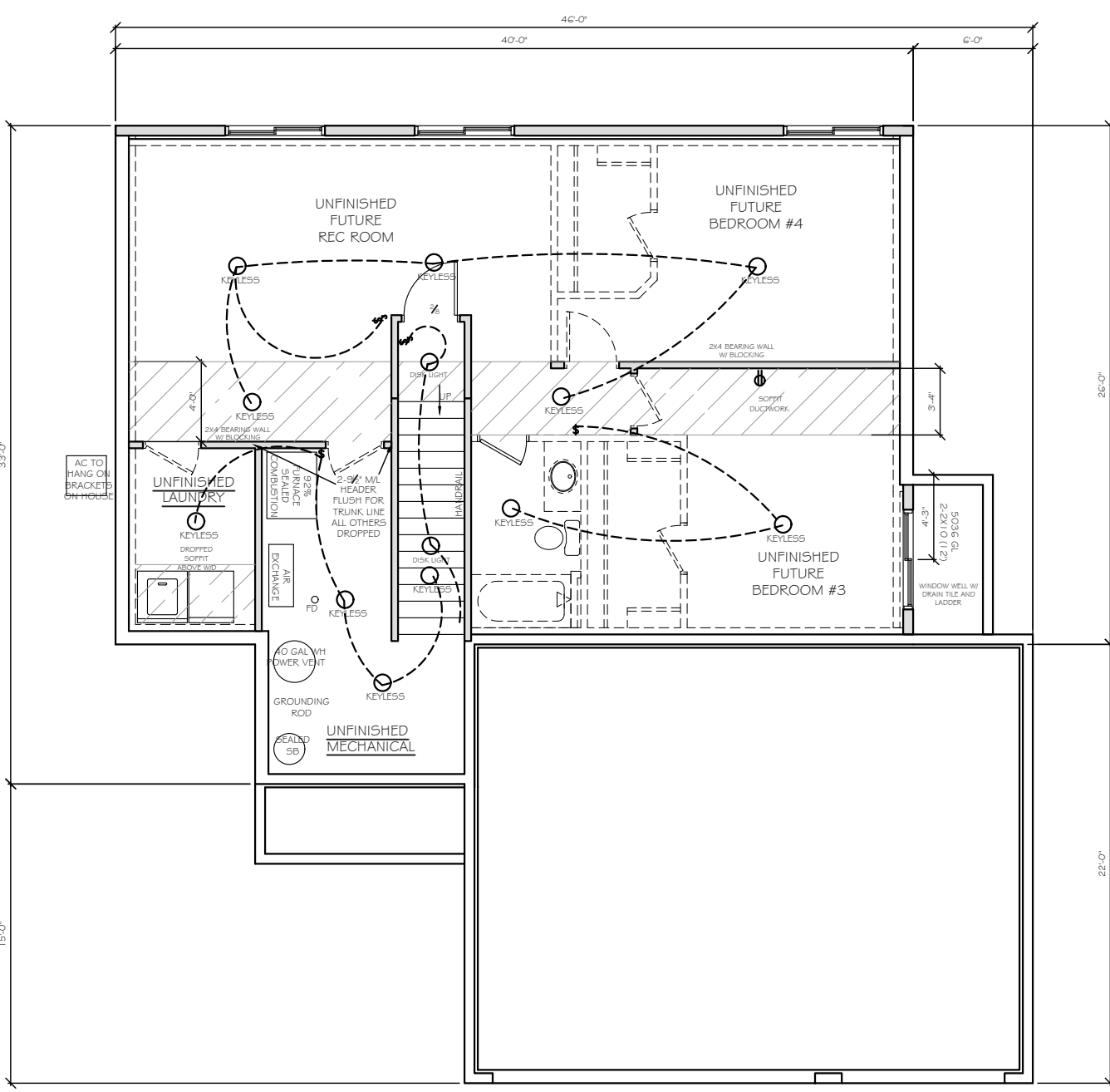
RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"



LOWER LEVEL  
 SCALE: 1/8" = 1'-0"

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